

# RENOVATIONS TO BARNET TOWN HALL

BARNET, VERMONT



**OWNER**

TOWN OF BARNET, VERMONT  
1743 US ROUTE 5 SOUTH  
BARNET, VT, 05821  
BEN GATES - SELECT BOARD CHAIR  
(802) 535-5579  
benjamin\_gates@yahoo.com

**CIVIL ENGINEER**

RUGGLES ENGINEERING SERVICES, INC.  
4580 MEMORIAL DRIVE  
ST. JOHNSBURY, VT 05819  
OFFICE: 802-748-5898  
CONTACT: NATHAN P. SICARD, P.E.  
CELL: 802-373-9903  
EMAIL: NATE.RES@MYFAIRPOINT.NET

**ARCHITECT**

BLACK RIVER DESIGN, ARCHITECTS  
73 MAIN STREET  
MONTPELIER, VT 05602  
PROJECT ARCHITECT - JOHN HEMMELGARN  
PROJECT MANAGER - ROLLIN TAIT  
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**STRUCTURAL ENGINEER**

NORTHEAST STRUCTURAL ENGINEERING, PLLC  
4025 ROLLO ROAD  
SWANTON, VT. 05488  
CONTACT: BRIAN DOUGLAS  
TEL: 802-782-0342  
EMAIL: Brian@nestructural.com

**CONSTRUCTION MANAGER**

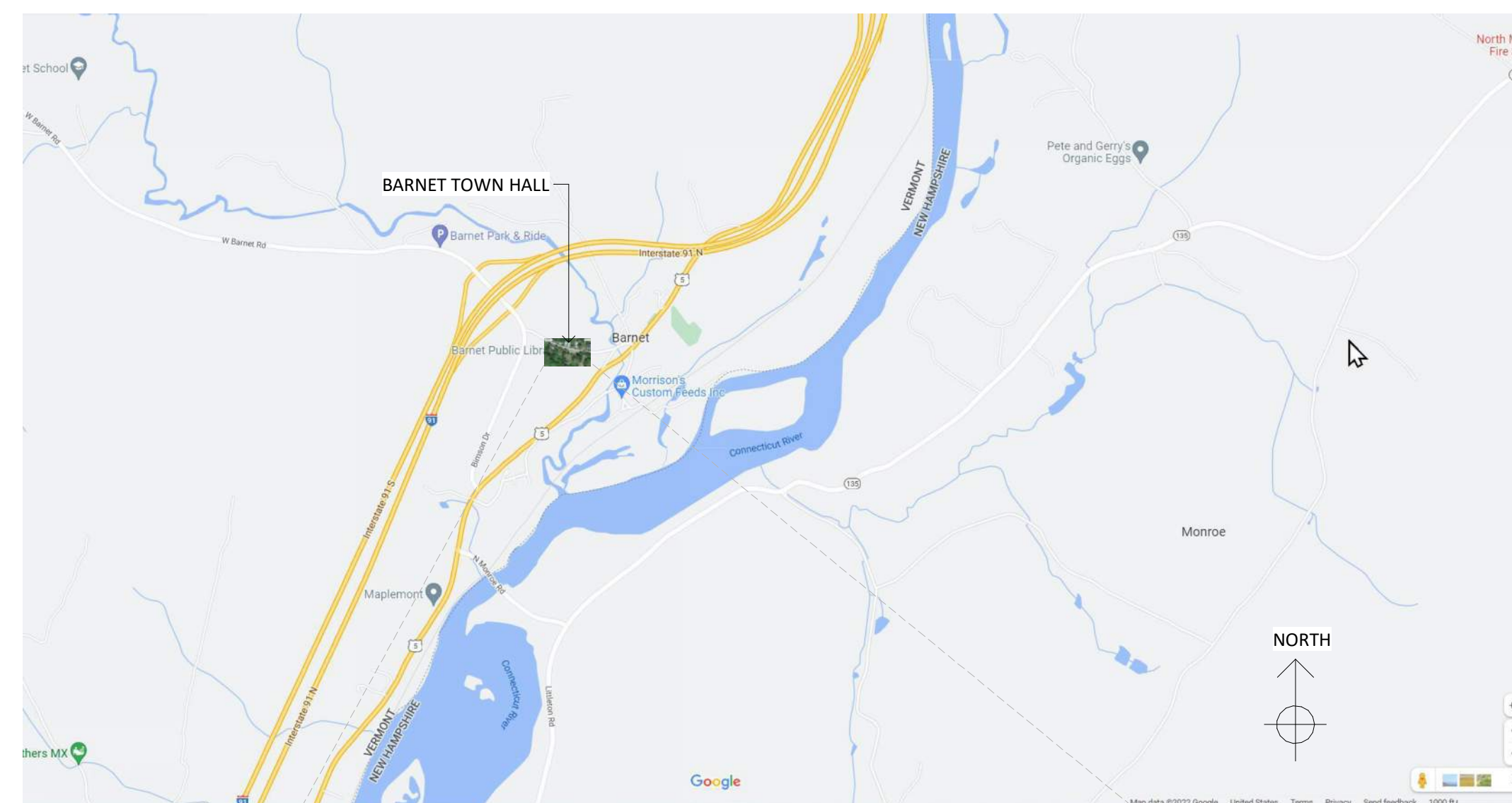
ESTES & GALLUP  
PO BOX 340, LYME, NH, 03768  
CONTACT: TIM ESTES  
TEL: 603-795-4400  
EMAIL: tim@estes-gallup.com

**MECHANICAL ENGINEER**

DESIGN- BUILD

**ELECTRICAL ENGINEER**

CFW  
ST JOHNSBURY ACADEMY  
CONTACT: JEREMY ROBERTS



2 LOCATION PLAN  
SCALE: 1 : 24000



1 SITE PLAN  
SCALE: 1" = 80'-0"

**DRAWING INDEX**

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BARNET TOWN HALL RENO.  
BARNET, VERMONT

**BLACK RIVER DESIGN**

73 MAIN STREET  
MONTPELIER, VERMONT 05602

**REVISIONS**

| NO. | DATE | DESCRIPTION |
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**COVER**

**SCALE**  
As indicated

**DATE**  
2023-05-17 - DRAFT

**DRAWN BY**  
Author

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**DD DRAFT SET**  
**2023-06-26**



| DEMOLITION NOTES |   |
|------------------|---|
| KEYNOTE #        | KEYNOTE DESCR.  |
| 02               | FDSALKDFSALKJDFSALKJ  |
| 04               | EXISTING WALL MOUNTED MONITORS TO BE REMOVED BY OWNER PRIOR TO CONSTRUCTION |

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2023-06-26

### DEMOLITION NOTES

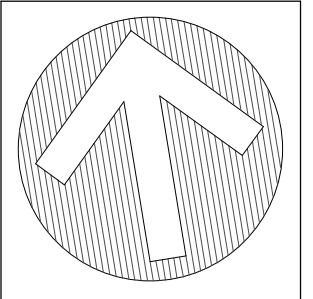
- PREVIOUS DEMOLITION**
- GARAGE AND LINK WERE DEMOLISHED BY THE TOWN IN DECEMBER 2022.
  - ARCHITECT DOES NOT HAVE DETAILS OF DEMOLITION.
- VERIFY IN FIELD (AND REPORT TO ARCHITECT)**
- CURRENT STATE OF REMOVAL OF FOUNDATIONS AND ANY BACK-FILL.
  - CURRENT STATE OF SERVICE CONNECTIONS (ELEC, WATER, SEWER, ETC.)
- SITE -**
- REMOVE IMPEDEMENTS TO WORK
- FOUNDATIONS**
- DEMOLISH EXISTING FOUNDATION. PROVIDE TEMPORARY SUPPORT TO BUILDING (WHILE NEW FOUNDATION IS UNDER CONSTRUCTION)

### MAIN HALL - ENVELOPE

- ROOFS
  - RETAIN EXISTING ROOF COVERING
- EXTERNAL WALLS**
- EXTERIOR WALL COVERINGS (SIDING, TRIM, ETC) - TO BE RETAINED.
- INTERNAL WALL COVERINGS:**
- REMOVE AND SET ASIDE PRESSED-METAL WALL PANELS (PORTION TO BE RE-USED).
  - REMOVE AND SET ASIDE WAINSCOTTING AND BEADBOARD (PORTION TO BE RE-USED).
  - REMOVE AND SET ASIDE BENCHES (PORTION TO BE RE-USED).
  - REMOVE INTERNAL WALL COVERINGS (GWB, LATH & PLASTER, ETC.) DOWN TO BARE STUDS.
  - (PREP EXTERNAL WALLS TO RECEIVE NEW INTER-STUD INSULATION AND INTERNAL COVERINGS)
- EXTERNAL WINDOWS AND DOORS -** RETAIN EXISTING EXCEPT WHERE NOTED.

### MAIN HALL - INTERNAL

- INTERNAL DOORS
  - RETAIN ALL INTERNAL DOORS FOR RE-USE.
  - PARTITIONS (INTERNAL WALLS)
  - REMOVE ALL NON-STRUCTURAL INTERNAL PARTITIONS
  - CEILINGS
  - REMOVE AND RE-FASTEN THE PRESSED METAL CEILING TILES THROUGHOUT.
  - FLOORS
  - COVER AND PRETECT HARDWOOD FLOORING
- STAGE**
- STAGE FLOOR - REMOVE
  - STAGE WALLS - REMOVE
  - STAGE DOORS - REMOVE AND RETAIN FOR RE-USE.



BARNET TOWN HALL RENO.  
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#### DEMOLITION FLOOR PLANS

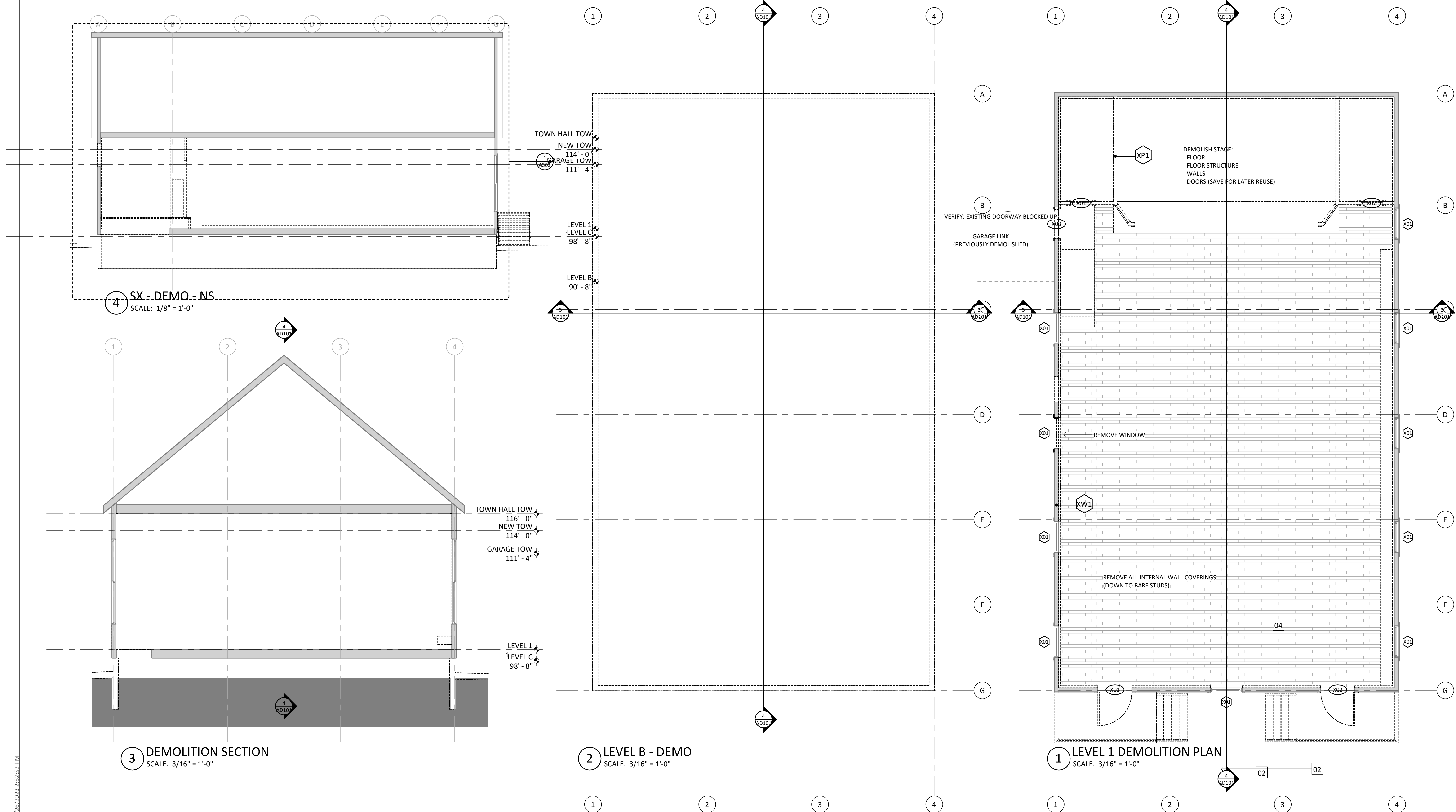
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2023-05-17 - DRAFT

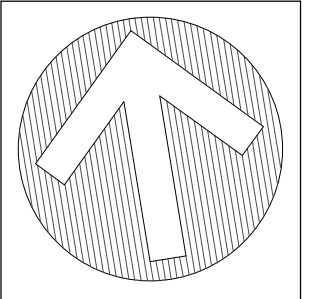
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AD101



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# BARNET TOWN HALL RENOVATION

BARNET, VERMONT

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| NO. | REVISIONS |
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DEMOLITION ELEVATIONS & SECTIONS

**SCALE**  
3/16" = 1'-0"

**DATE**  
2023-05-17 - DRAFT

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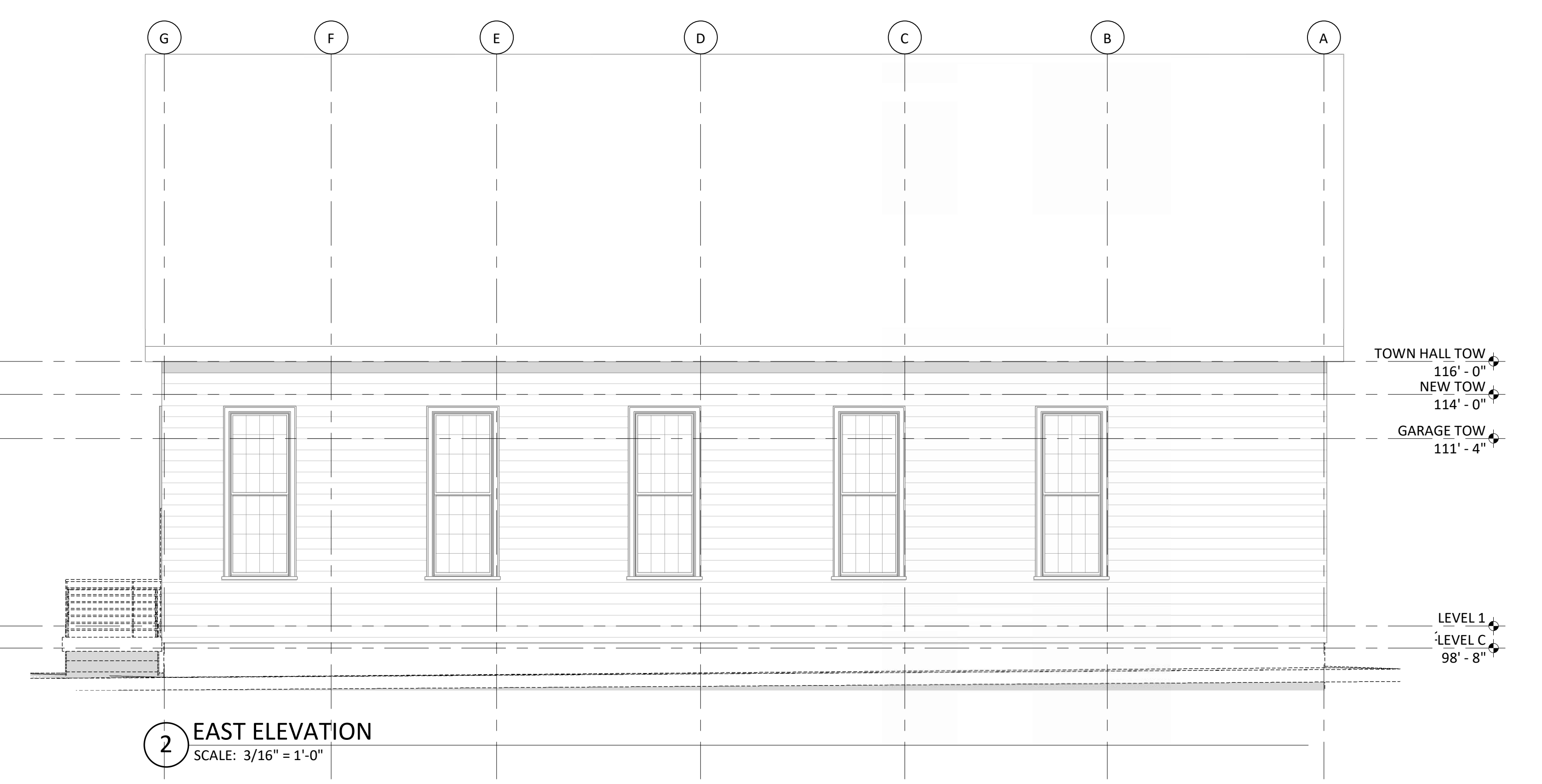
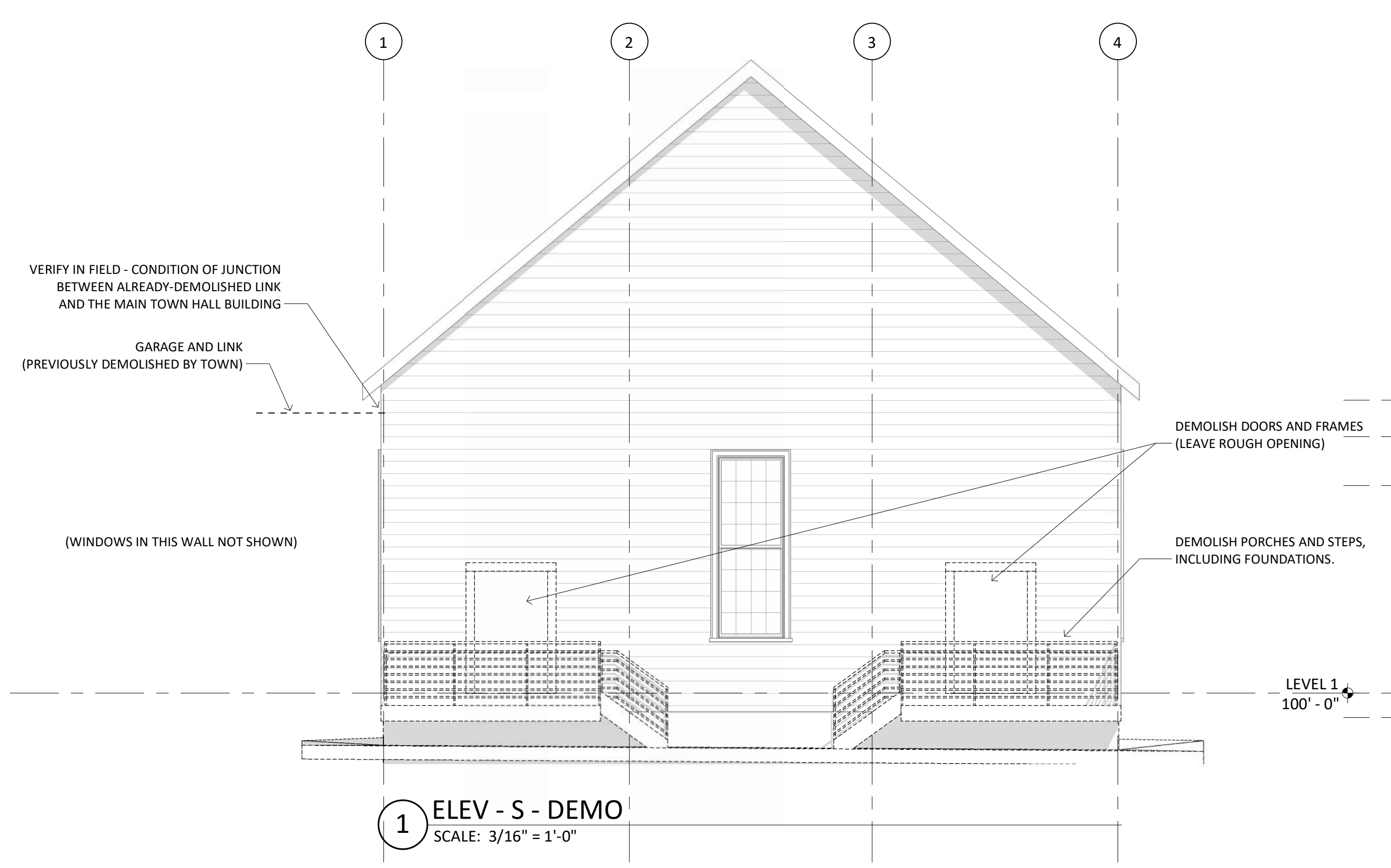
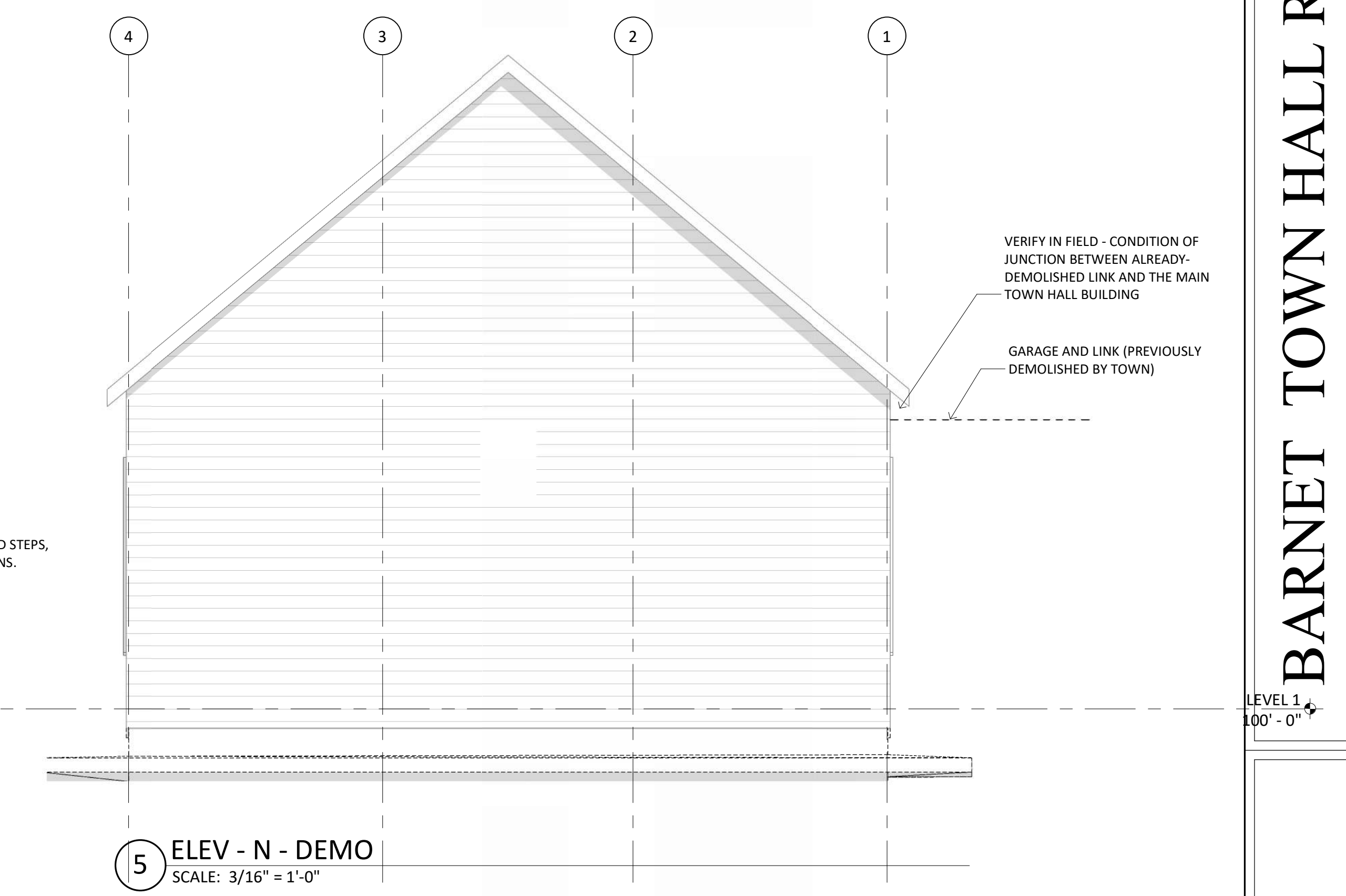
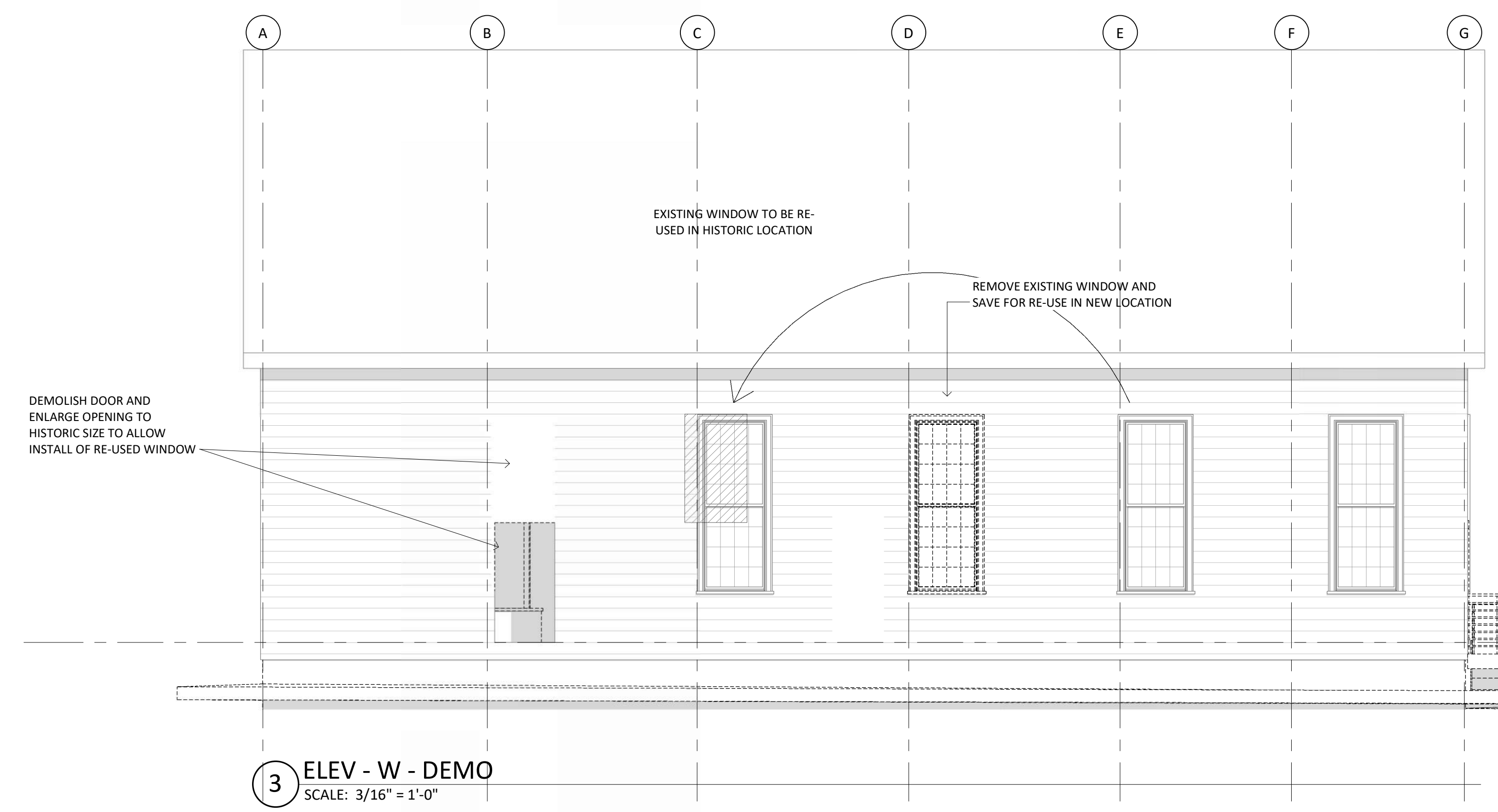
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## AD401

# DD DRAFT SET

## 2023-06-26

| DEMOLITION NOTES |   |
|------------------|---|
| KEYNOTE #        | KEYNOTE DESCR.  |
| 02               | FDSALKDFSALKJDFSALKJ  |
| 04               | EXISTING WALL MOUNTED MONITORS TO BE REMOVED BY OWNER PRIOR TO CONSTRUCTION |



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**DIMENSION NOTES**

DIMENSIONS ARE TO THE FOLLOWING LOCATIONS:  
(UNLESS NOTED)

POSTS AND COLUMNS: TO CENTERLINE

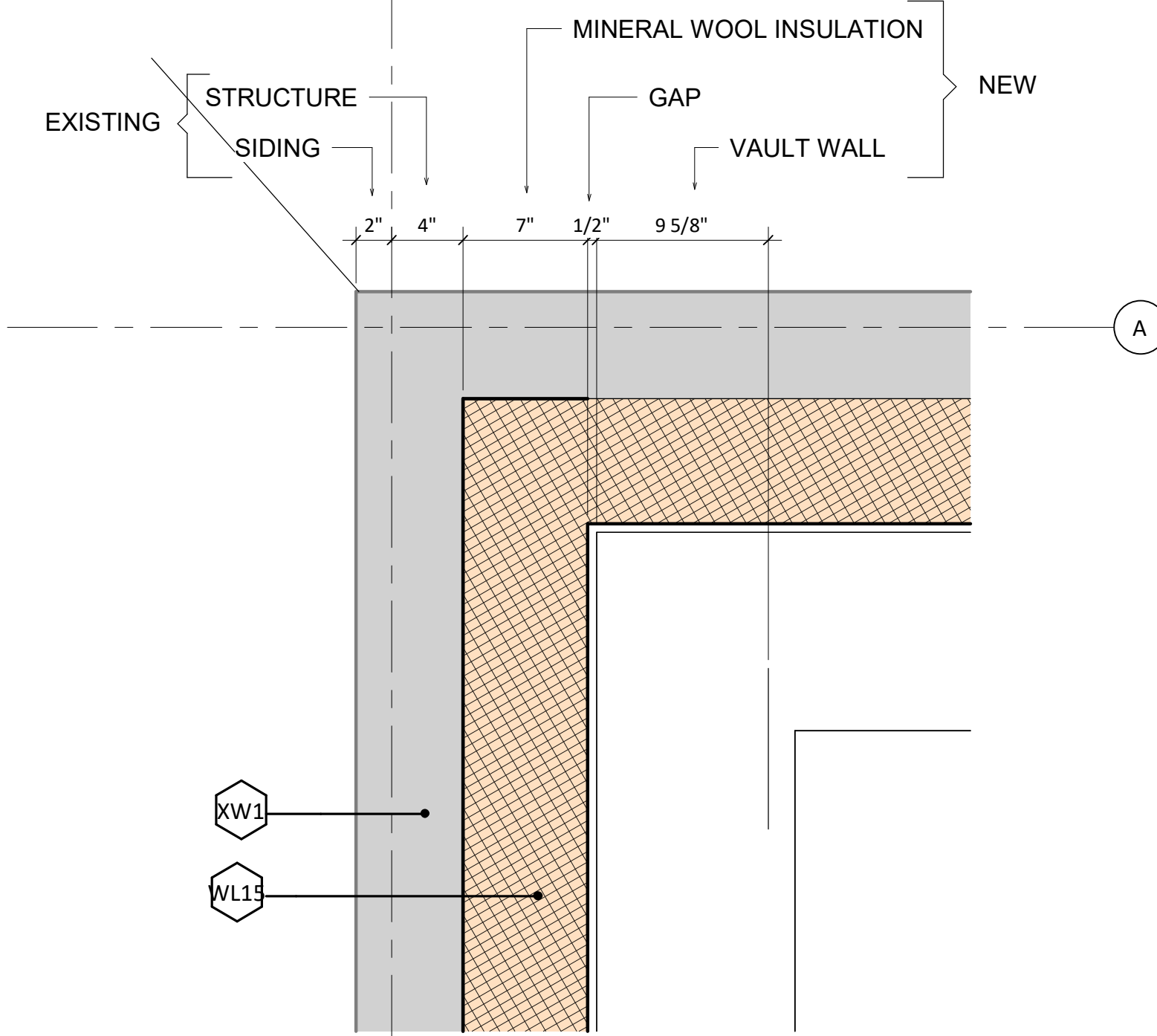
FLOORS: TO TOP OF SUB FLOOR

WALLS:  
- STUD WALLS - TO FACE OF STUD  
- CONCRETE WALLS - TO FACE OF CONCRETE

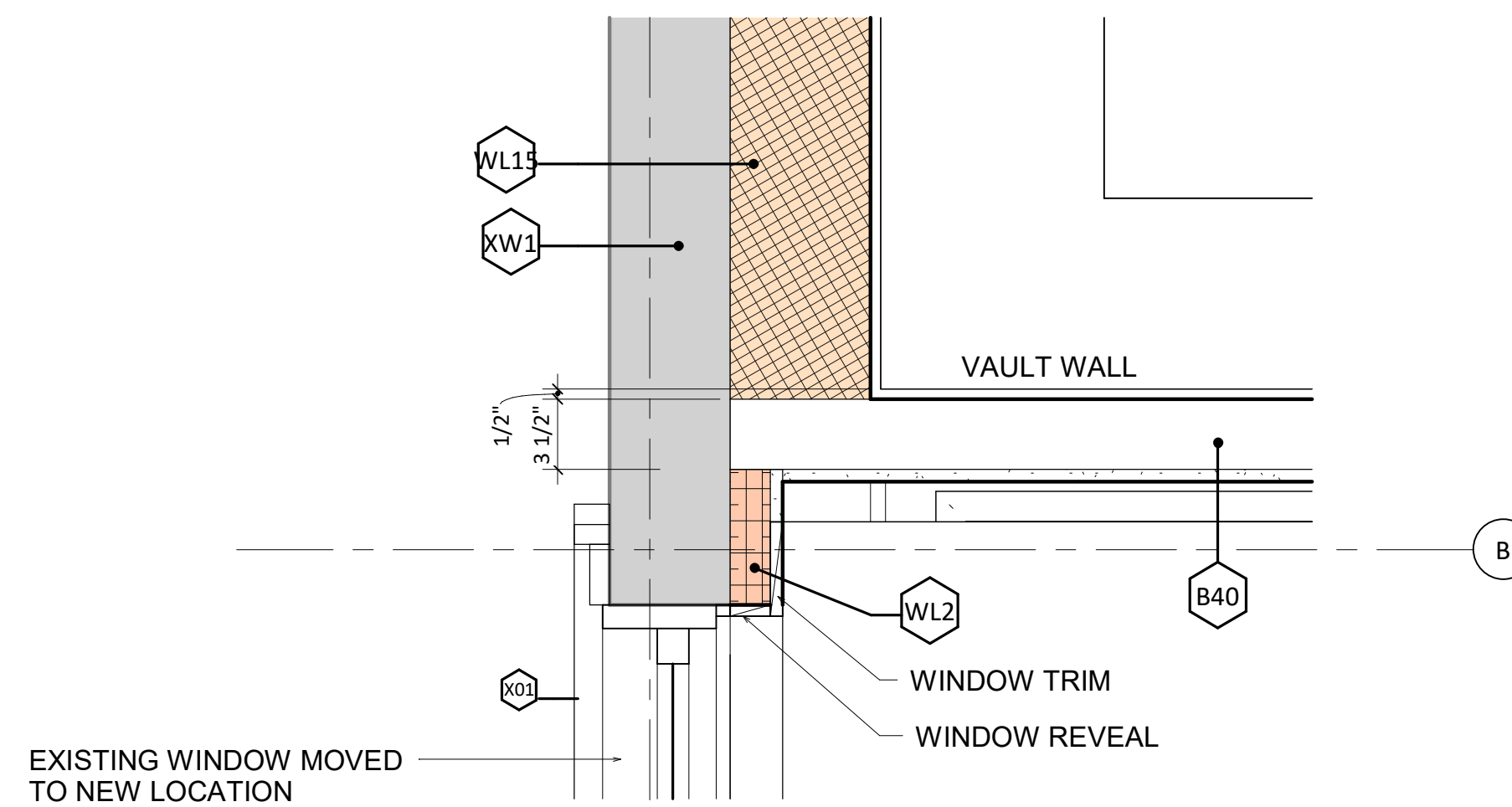
TOP OF WALL: TO TOP OF WALL PLATE

ROOFS: TO TOP OF ROOF SHEATHING.

ALL DIMENSIONS ARE TO BE VERIFIED IN FIELD (VIF).  
NOTIFY THE ARCHITECT IF DISCREPANCIES ARE FOUND.

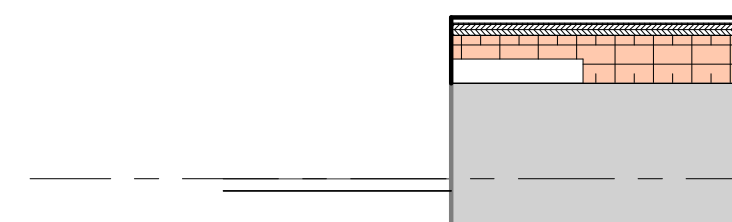


3 PLAN - DTL - VAULT BACK CORNER  
SCALE: 1 1/2" = 1'-0"

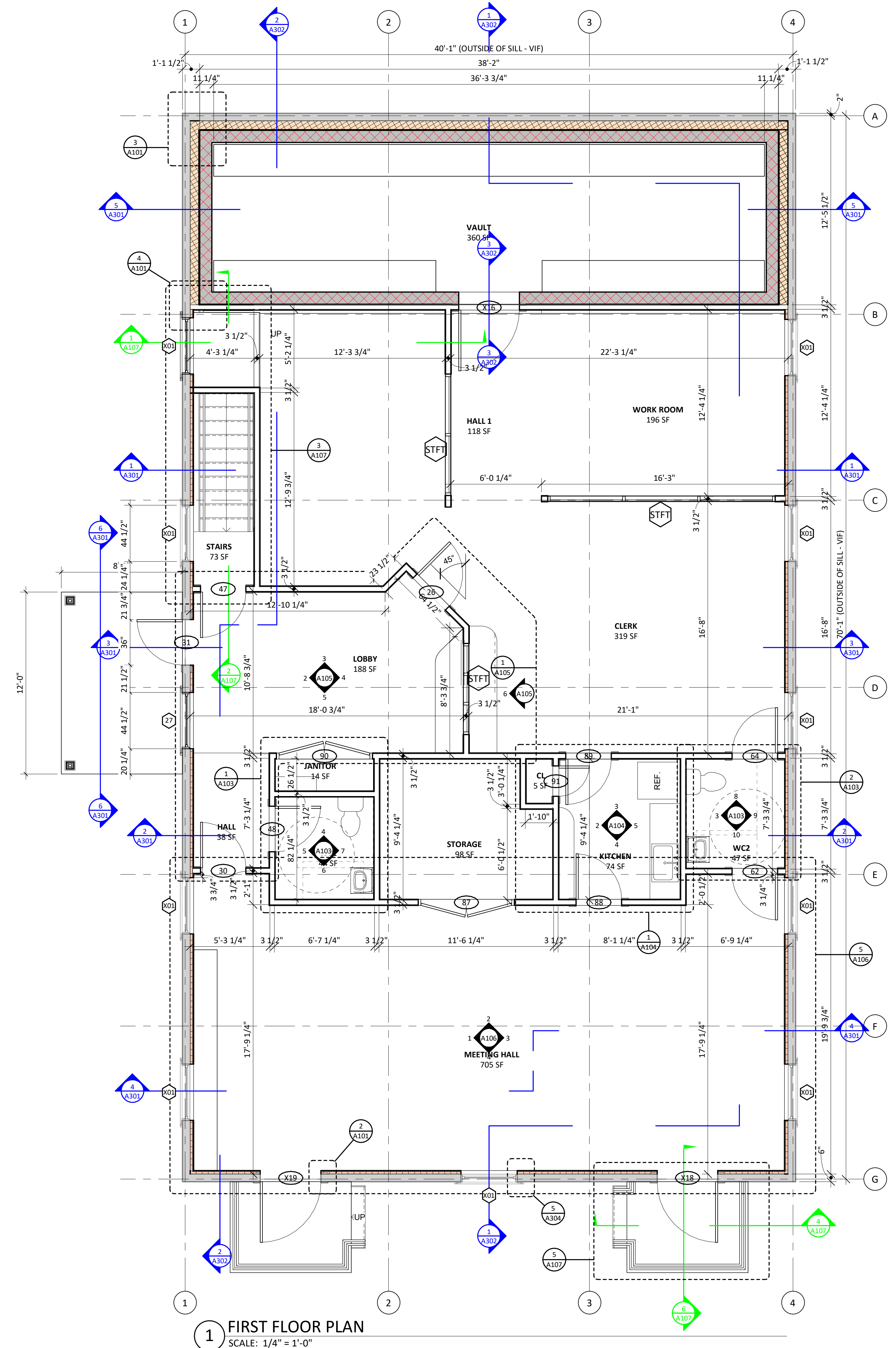


4 PLAN - DTL - VAULT FRONT CORNER  
SCALE: 1 1/2" = 1'-0"

EXISTING WINDOW MOVED TO NEW LOCATION



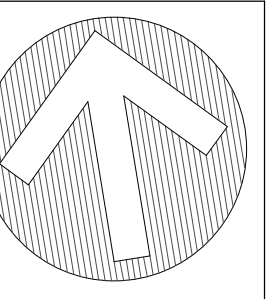
2 PLAN - DTL - DOOR JAMB  
SCALE: 1 1/2" = 1'-0"



1 FIRST FLOOR PLAN  
SCALE: 1/4" = 1'-0"

**DD DRAFT SET**  
**2023-06-26**

| ROOM SCHEDULE - LEVEL 1 |              |                 |         |
|-------------------------|--------------|-----------------|---------|
| Number                  | Name         | Area            | USER    |
| <b>LEVEL 1</b>          |              |                 |         |
| 007                     | LISTERS      | 215 SF          | MIXED   |
| 101                     | MEETING HALL | 705 SF          | PUBLIC  |
| 102                     | HALL         | 38 SF           | PUBLIC  |
| 103                     | JANITOR      | 14 SF           | UTIL    |
| 104                     | WC1          | 44 SF           | SERVICE |
| 105                     | STORAGE      | 98 SF           | SERVICE |
| 106                     | CL           | 5 SF            | SERVICE |
| 107                     | KITCHEN      | 74 SF           | SERVICE |
| 108                     | WC2          | 47 SF           | SERVICE |
| 109                     | LOBBY        | 188 SF          | PUBLIC  |
| 110                     | CLERK        | 319 SF          | STAFF   |
| 111                     | STAIRS       | 73 SF           | UTIL    |
| 113                     | HALL 1       | 118 SF          | STAFF   |
| 114                     | WORK ROOM    | 196 SF          | STAFF   |
| 115                     | VAULT        | 360 SF          | STAFF   |
| <b>LEVEL 1</b>          |              | <b>2,493 SF</b> |         |
| <b>Grand total</b>      |              | <b>2,493 SF</b> |         |



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FIRST FLOOR PLAN

SCALE  
As indicated

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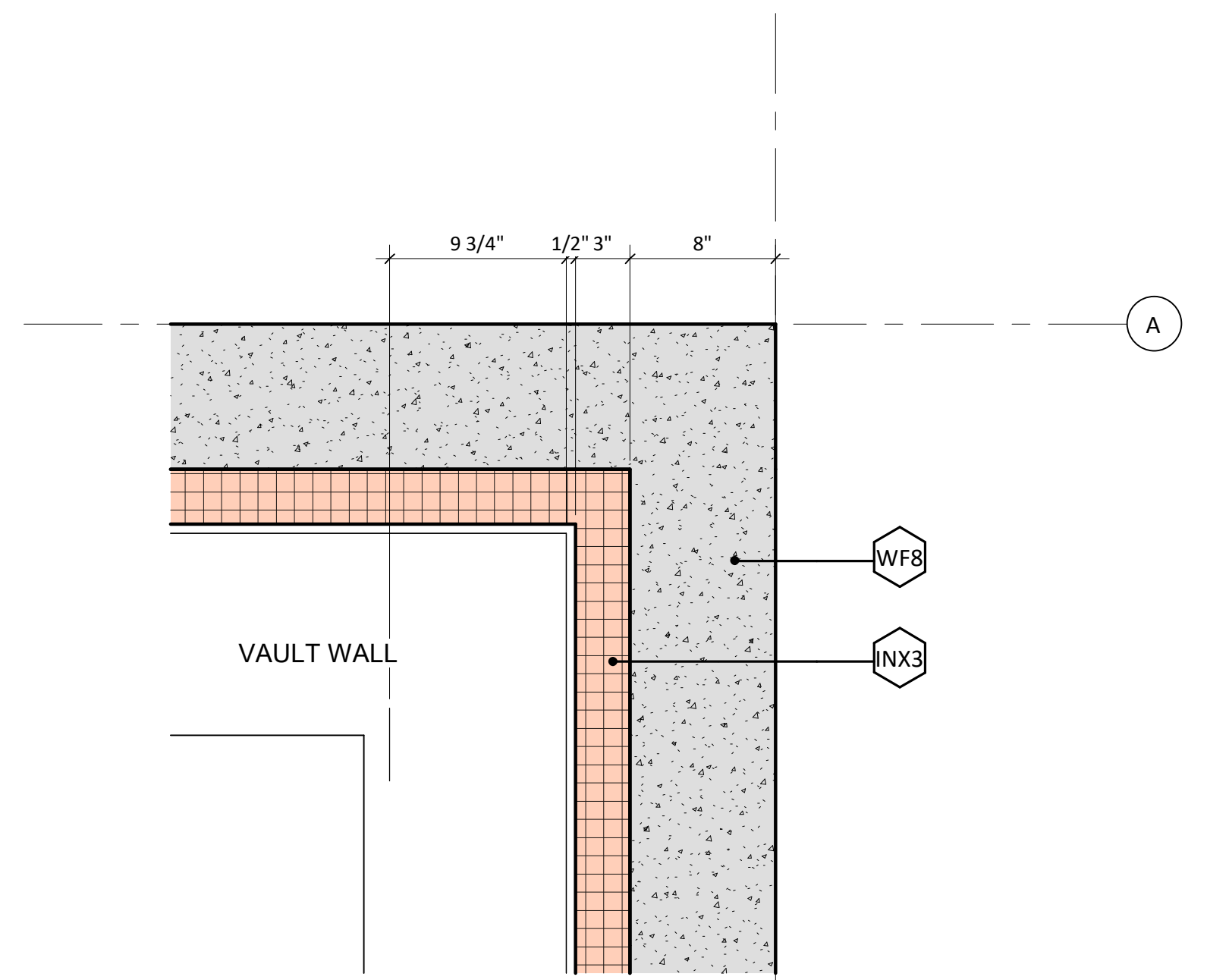
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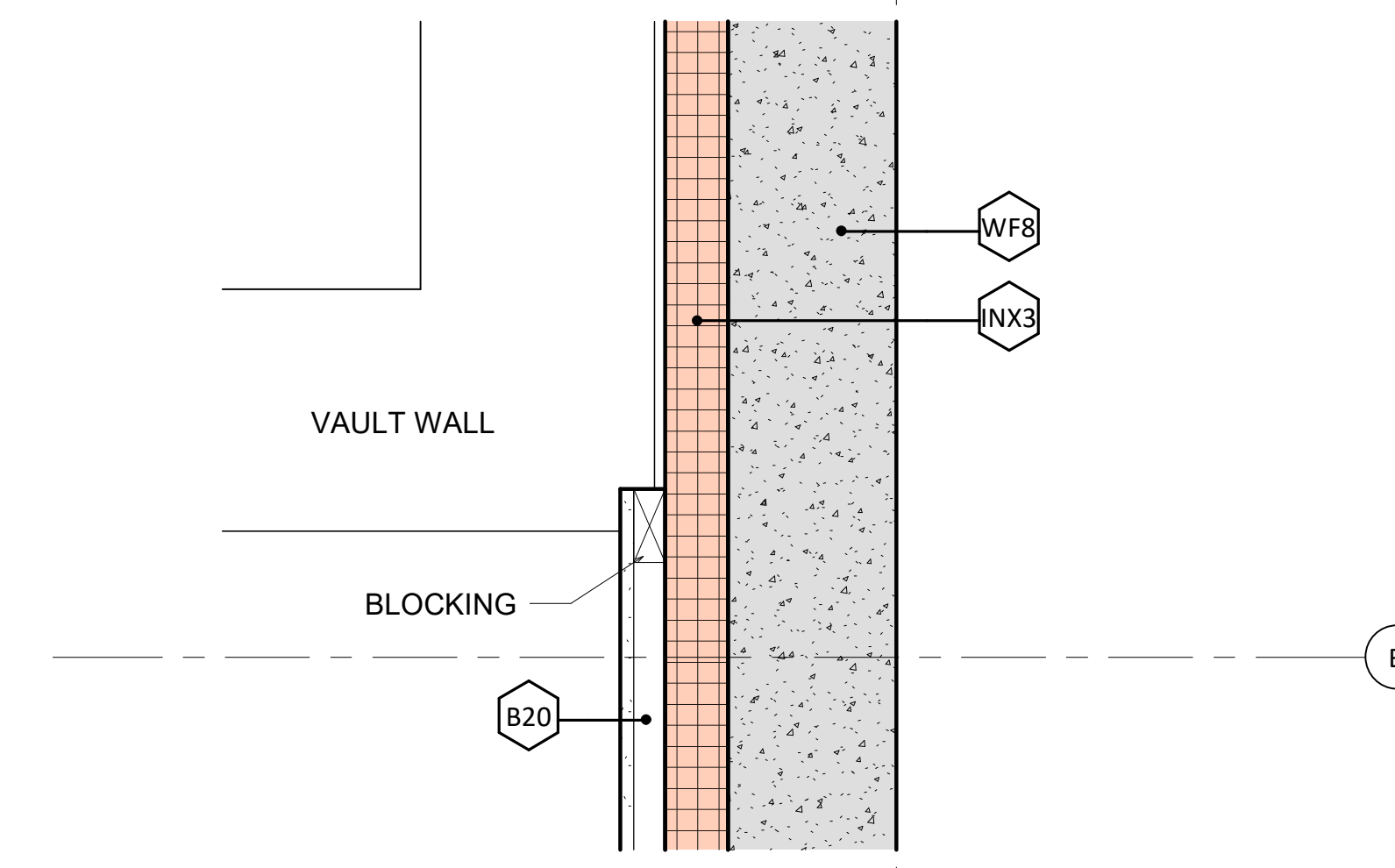
**A101**

| ROOM SCHEDULE - BASEMENT |      |      |      |
|--------------------------|------|------|------|
| Number                   | Name | Area | USER |

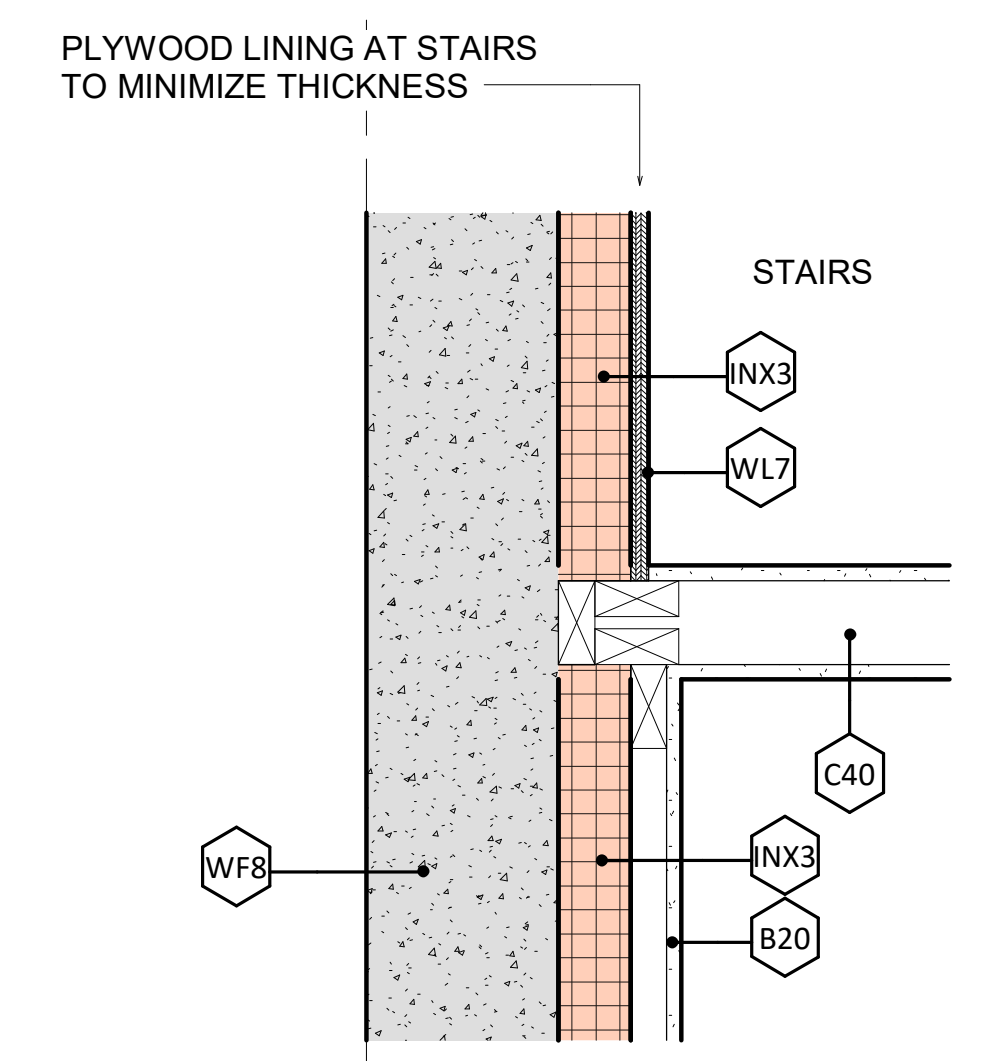
| LEVEL B     |             |              |       |
|-------------|-------------|--------------|-------|
| 001         | UNDEVELOPED | 1,425 SF     | UNDEV |
| 002         | STORAGE     | 156 SF       | STAFF |
| 003         | MECHANICAL  | 298 SF       | UTIL  |
| 004         | STAIRS B    | Not Enclosed | UTIL  |
| 005         | HALL B      | 162 SF       | UTIL  |
| 006         | LOWER VAULT | 360 SF       | STAFF |
| LEVEL B     |             | 2,401 SF     |       |
| Grand total |             | 2,401 SF     |       |



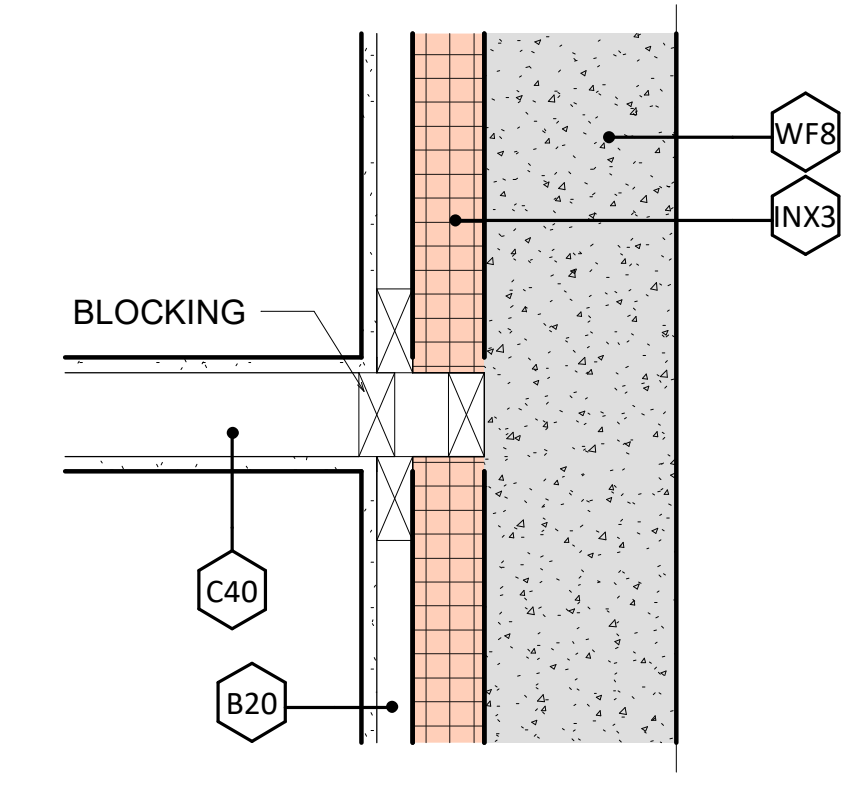
5 LOWER VAULT BACK CORNER  
SCALE: 1 1/2" = 1'-0"



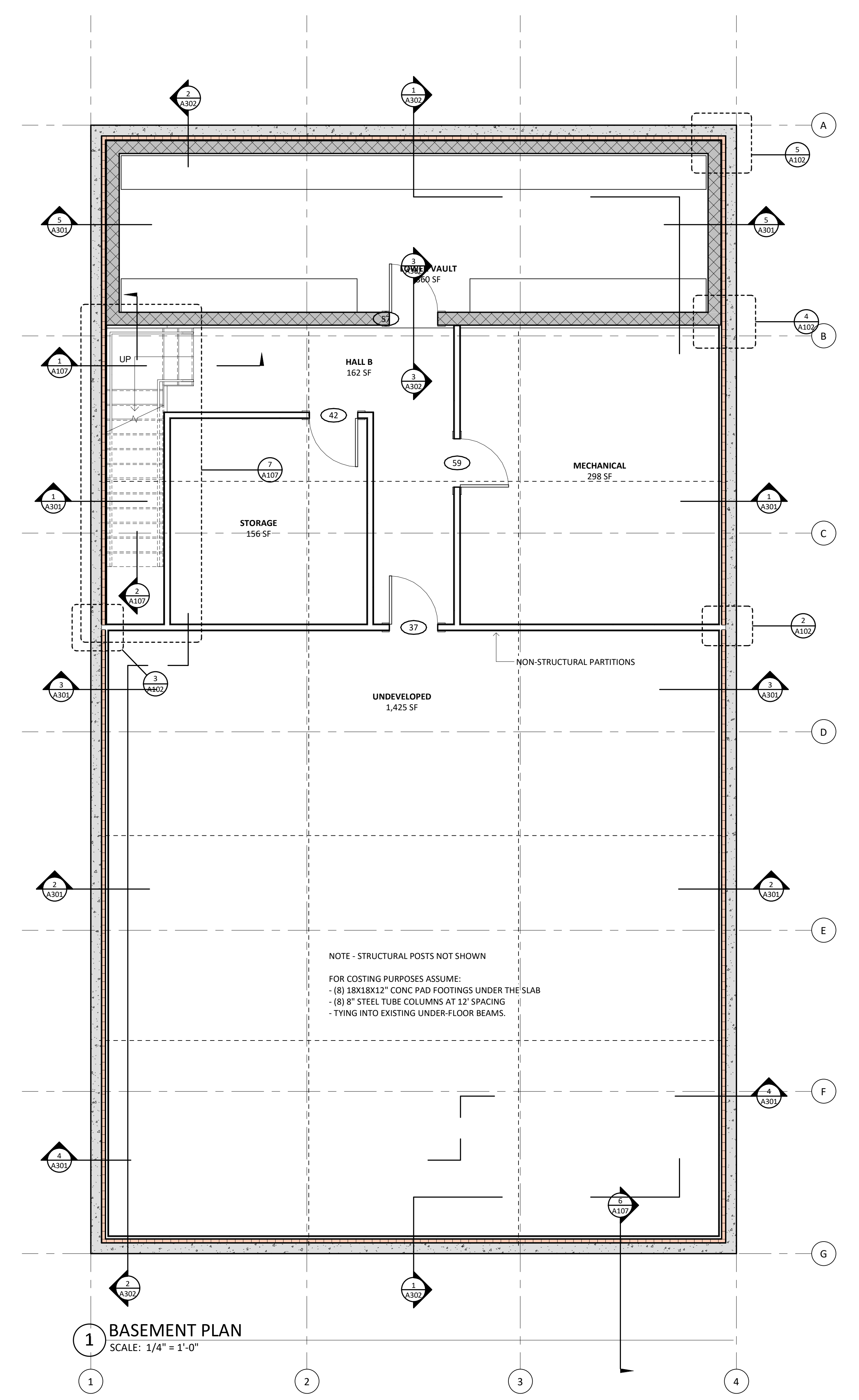
4 DTL - PLAN - VAULT W/W  
SCALE: 1 1/2" = 1'-0"



3 DTL - PLAN - STAIR W/P  
SCALE: 1 1/2" = 1'-0"



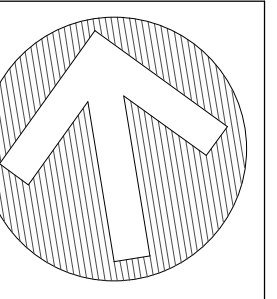
2 DTL - PLAN - BASEMENT W/P  
SCALE: 1 1/2" = 1'-0"



1 BASEMENT PLAN  
SCALE: 1/4" = 1'-0"

NOTE - STRUCTURAL POSTS NOT SHOWN  
FOR COSTING PURPOSES ASSUME:  
- (8) 18X18X12" CONC PAD FOOTINGS UNDER THE SLAB  
- (8) 8" STEEL TUBE COLUMNS AT 12' SPACING  
- TYING INTO EXISTING UNDER-FLOOR BEAMS.

**DD DRAFT SET**  
**2023-06-26**



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REVISIONS

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BASEMENT PLAN

SCALE  
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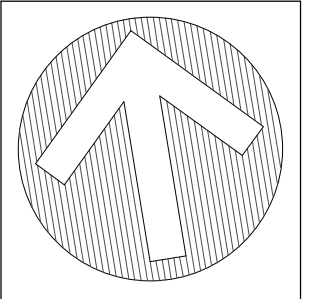
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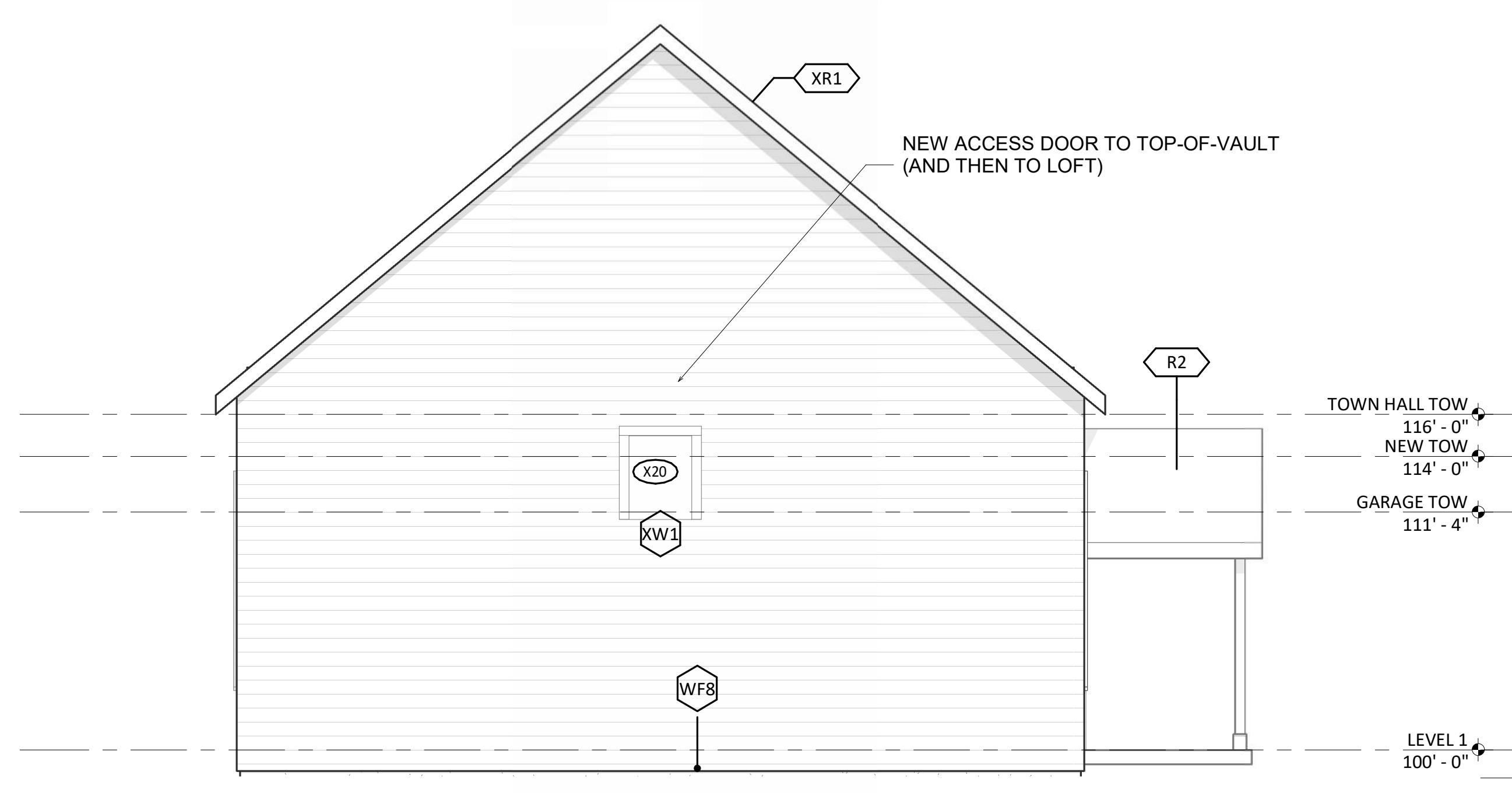
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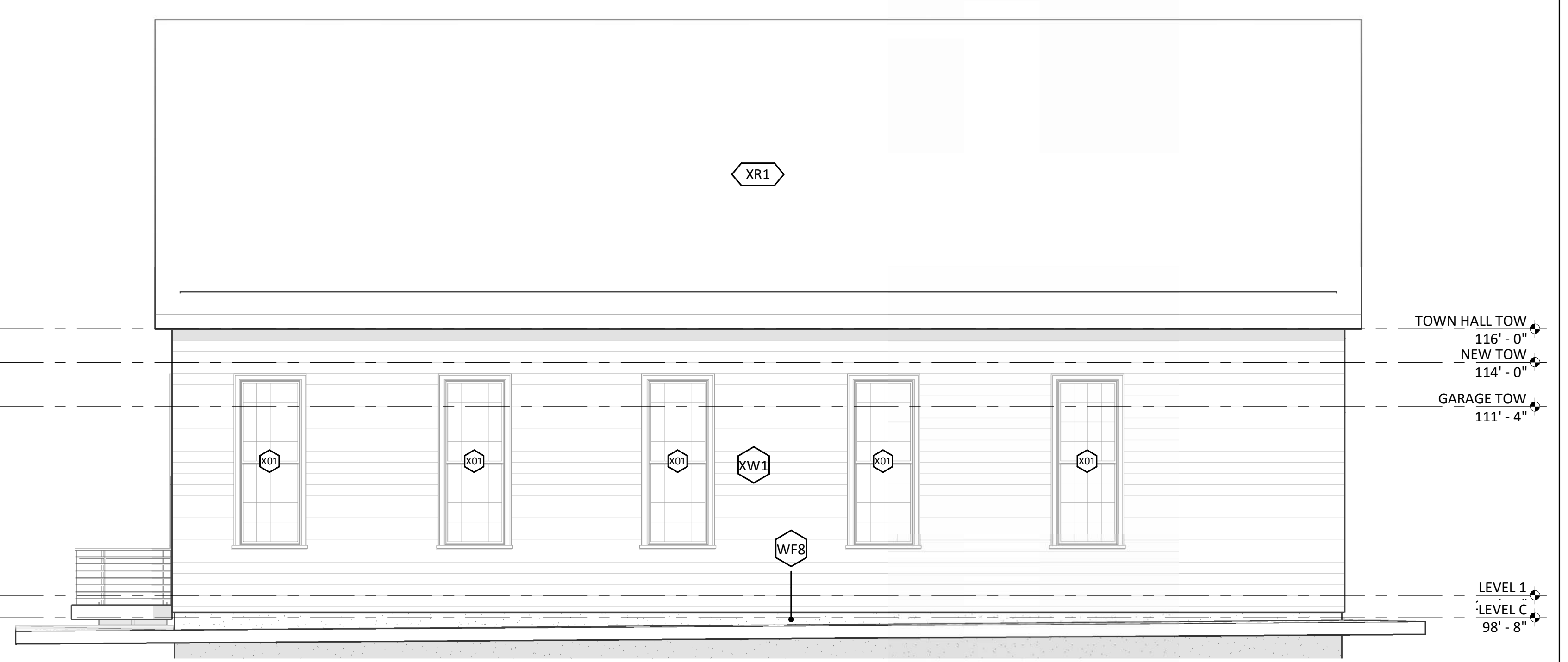
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| ELEVATIONS        |                    |
|-------------------|--------------------|
| <b>SCALE</b>      | 3/16" = 1'-0"      |
| <b>DATE</b>       | 2023-05-17 - DRAFT |
| <b>DRAWN BY</b>   | Author             |
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**A401**

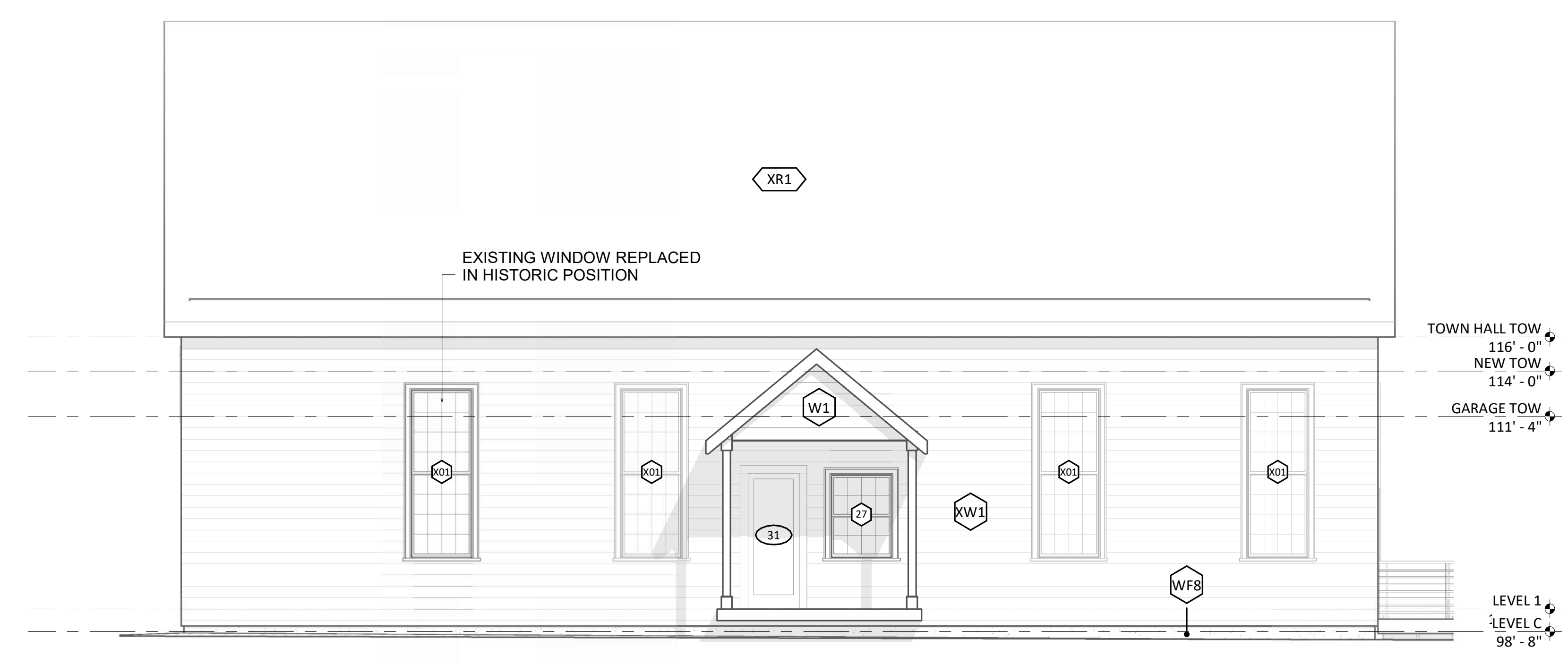


**2 ELEV - N - NEW**  
SCALE: 3/16" = 1'-0"



**1 ELEV - E - NEW**  
SCALE: 3/16" = 1'-0"

**DD DRAFT SET**  
**2023-06-26**



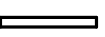




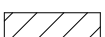
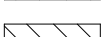
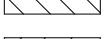
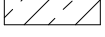
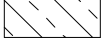
**4 WEST ELEVATION**  
SCALE: 3/16" = 1'-0"



**3 ELEV - S - NEW**  
SCALE: 3/16" = 1'-0"

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**LIFE SAFETY LEGEND**

-  TYPICAL NON-FIRE RATED WALL
-  TYPICAL SMOKE TIGHT WALL
-  TYPICAL 1HR RATED WALL
-  TYPICAL 2HR RATED WALL
-  EGRESS PATH
  - DEC - DEAD END CORRIDOR
  - MRP - MOST REMOTE POINT
  - CPT - COMMON PATH OF TRAVEL
-  AREA TYPE 1 - 6 HR VAULT
-  AREA TYPE 2
-  AREA TYPE 3
-  AREA TYPE 4
-  AREA TYPE 5
- FEC - FIRE EXTINGUISHER IN SURFACE MOUNTED CABINET
- FE - WALL HUNG FIRE EXTINGUISHER

**GENERAL NOTES**

CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS. BEFORE START OF WORK, FIELD VERIFY EXISTING HEIGHTS. CONTACT ARCHITECT IF DIMENSIONS, RELATIONSHIPS, OR ELEVATIONS ARE DIFFERENT THAN INDICATED.

ALL PLAN ANGLES ARE 90° OR 45° UNLESS OTHERWISE INDICATED.

DOORS LOCATED ADJACENT TO PERPENDICULAR WALL TO BE 4" FROM WALL TO EDGE OF FRAME U.O.N.

**CONCRETE**  
PROVIDE CONCRETE PADS FOR ALL FLOOR MOUNTED MECH. EQUIPMENT

**MISC. METAL FABRICATIONS**  
PROVIDE MISC. METAL ANGLES, BARS, TUBES AND PIPES AS INDICATED ON ARCHITECTURAL DRAWINGS AND NOT INDICATED ON STRUCTURAL DRAWINGS.

WHERE NO SIZE IS INDICATED, ASSUME THE FOLLOWING:  
- ANGLES, BARS AND BENT PLATES: 1/4" THICK BY SIZE SHOWN  
- CHANNELS, TUBES, PIPES AND WIDE FLANGES 20 LBS./LF

**STEEL STUDS**  
METAL STUDS TO EXTEND FROM FLOOR TO UNDERSIDE OF DECK OR SLAB ABOVE TO PROVIDE SEPARATION OF SPACES.





VERIFY THAT ALL STUDS MEET SPECIFIED PERFORMANCE REQUIREMENTS.

**MISC CARPENTRY**  
PROVIDE BLOCKING AT ALL WALL MOUNTED ACCESSORIES, INCLUDING BUT NOT LIMITED TO: SHELVING, TOILET ACCESSORIES, WALL STOPS, CABINETRY, ARCHITECTURAL WOODWORK, SMARTBOARDS.

**CABINETRY**  
TEXT SHOWN AT A 45 DEGREE ANGLE INDICATES ARCHITECTURAL WOODWORK. ALL OTHER CABINETRY IS PREMANUFACTURED KITCHEN CASEWORK, SEE INTERIOR ELEVATIONS FOR CABINET TYPE AND CONFIGURATION.

PRE-MANUFACTURED CASEWORK: SEE CASEWORK ELEVATIONS FOR CONFIGURATION. CABINETS TO BE MERRILLAT CLASSIC WITH FUSION DOOR STYLE OR EQUAL. PROVIDE 4-INCH STAINLESS STEEL D-PULLS AT ALL DOORS AND DRAWERS. PROVIDE POST-FORM PLASTIC LAMINATE COUNTERTOPS WITH D-90 EDGE & INTEGRAL 4" BACKSPASH, U.O.N.

**SEALANT**  
PROVIDE SEALANT AT ALL JOINTS, TRANSITIONS, CORNERS, AND CHANGES IN MATERIALS AND AS REQUIRED TO COMPLETE AN INSTALLATION.

- WINDOW/DOORS**
-  DOOR TAG - SEE DOOR SCHEDULE
  -  WINDOW TAG - SEE WINDOW SCHEDULE
  -  EXISTING WINDOWS - NO WORK
  -  WT - WINDOW TO RECEIVE WINDOW TREATMENT

**FINISHES**  
ROOMS THAT ARE NOT LABELED WITH A ROOM NAME AND NUMBER ARE TO RECEIVE SIMILAR FINISHES AS ADJOINING ROOM.

PATCH FLOORS, WALLS, AND CEILINGS AS REQUIRED TO MATCH EXISTING WHERE EXISTING CONSTRUCTION IS TO BE REMOVED.

**SPECIALTIES**  
PROJECTION SCREENS - OWNER TO CONFIRM IF NEEDED.

**TOILET & BATH ACCESSORIES**  
ALL TOILET ROOMS TO RECEIVE THE FOLLOWING ACCESSORIES -  
TOILET PAPER DISPENSERS MOUNTED AT 19" AFF  
GRAB BARS, (1) 36" (1) 42" MOUNTED AT 36" AFF  
24"X36" MIRROR BOTTOM MOUNTED 6" ABOVE RIM OF SINK  
SOAP DISPENSER MOUNTED AT 44" AFF  
PAPER TOWEL HOLDER MOUNTED AT 44" AFF

**TOILET & BATH ACCESSORIES**  
SEE ENLARGED BATHROOM PLANS AND SPECIFICATIONS FOR SCOPE OF ACCESSORIES

**STRUCTURAL**  
ALL COLUMNS MAY NOT BE INDICATED ON ARCHITECTURAL FLOOR PLANS. SEE STRUCTURAL FOR COMPLETE SCOPE OF STEEL COLUMNS.

**PLUMBING**  
DF = DRINKING FOUNTAIN

SEE SPECIFICATIONS AND/OR ENLARGED PLANS FOR SCOPE OF TOILET AND BATH ACCESSORIES

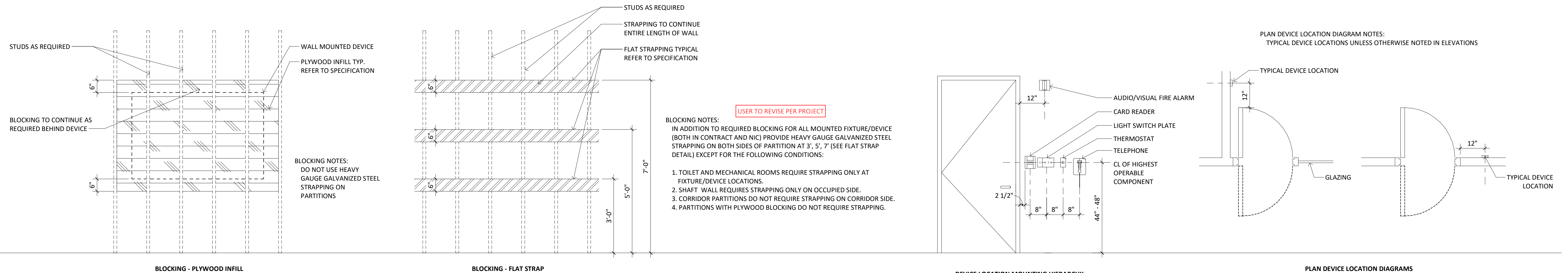
**MECHANICAL**  
LOCATE ALL UNIT VENTILATORS AS SHOWN ON MECHANICAL PLANS.

**FIRESTOPPING -**  
ROOMS SHALL BE CONSTRUCTED WITH ENCLOSURE TO PROVIDE FIRE RESISTANT RATING INDICATED. PROVIDE THROUGH PENETRATION FIRE STOP SYSTEM AND FIRE RESISTIVE JOINT SEALANT SYSTEMS AS REQUIRED TO ENSURE RATING.

- FIRE RESISTANCE RATING KEY**
- 1 HR** FOLLOWING THE ROOM NAME INDICATES THE ENTIRE ROOM IS TO BE SEPARATED BY ONE HOUR RATED CONSTRUCTION
  - 2 HR** FOLLOWING THE ROOM NAME INDICATES THE ENTIRE ROOM IS TO BE SEPARATED BY TWO HOUR RATED CONSTRUCTION
  - ST** FOLLOWING THE ROOM NAME INDICATES THE ENTIRE ROOM IS TO BE SEPARATED WITH SMOKE TIGHT CONSTRUCTION
  - SP** FOLLOWING THE ROOM NAME INDICATES THE ENTIRE ROOM IS TO BE PROTECTED BY LIMITED AREA SPRINKLER SYSTEM
  - 1 HR** INDICATES THAT A PARTICULAR WALL, FLOOR OR ROOF ASSEMBLY REQUIRES A ONE HOUR RATING
  - 2 HR** INDICATES THAT A PARTICULAR WALL, FLOOR OR ROOF ASSEMBLY REQUIRES A TWO HOUR RATING

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2023-06-26

**1 MOUNTING INFORMATION**  
SCALE: 1/2" = 1'-0"



USER TO REVISE PER PROJECT

**BLOCKING NOTES:**  
IN ADDITION TO REQUIRED BLOCKING FOR ALL MOUNTED FIXTURE/DEVICE (BOTH IN CONTRACT AND NIC) PROVIDE HEAVY GAUGE GALVANIZED STEEL STRAPPING ON BOTH SIDES OF PARTITION AT 3', 5', 7' (SEE FLAT STRAP DETAIL) EXCEPT FOR THE FOLLOWING CONDITIONS:  
1. TOILET AND MECHANICAL ROOMS REQUIRE STRAPPING ONLY AT FIXTURE/DEVICE LOCATIONS.  
2. SHAFT WALL REQUIRES STRAPPING ONLY ON OCCUPIED SIDE.  
3. CORRIDOR PARTITIONS DO NOT REQUIRE STRAPPING ON CORRIDOR SIDE.  
4. PARTITIONS WITH PLYWOOD BLOCKING DO NOT REQUIRE STRAPPING.

BARNET TOWN HALL RENOV.  
BARNET, VERMONT

BLACK RIVER DESIGN  
73 MAIN STREET  
MONTPELIER, VERMONT 05602

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**GENERAL NOTES**

**SCALE**  
As indicated

**DATE**  
2023-05-17 - DRAFT

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Author

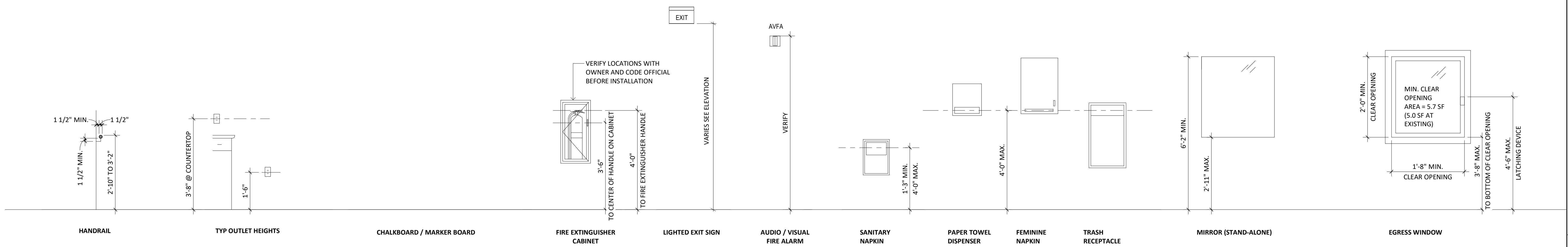
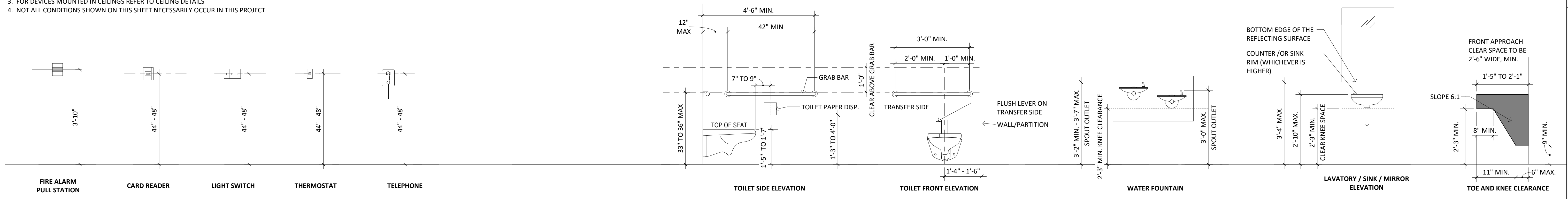
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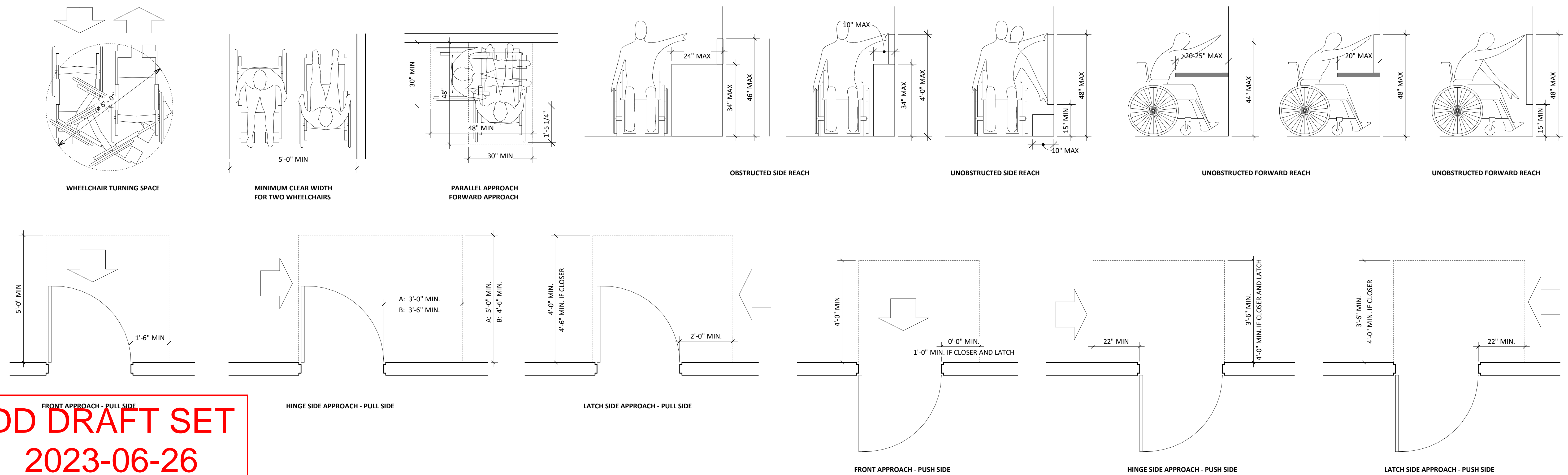


**2 MOUNTING HEIGHTS**  
SCALE: 1/2" = 1'-0"

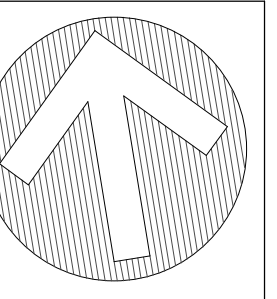
- MOUNTING HEIGHT NOTES:**  
 1. MOUNTING HEIGHTS TYPICAL UNLESS OTHERWISE NOTED IN ELEVATIONS  
 2. INTENT IS TO ALIGN DEVICES WHERE APPLICABLE  
 3. FOR DEVICES MOUNTED IN CEILINGS REFER TO CEILING DETAILS  
 4. NOT ALL CONDITIONS SHOWN ON THIS SHEET NECESSARILY OCCUR IN THIS PROJECT



**ACCESSIBILITY REQUIREMENTS**



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**2023-06-26**



**BARNET TOWN HALL RENOV.**  
BARNET, VERMONT



**REVISIONS**

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**ACCESSIBILITY REQUIREMENTS**  
 SCALE: 1/2" = 1'-0"  
 DATE: 2023-05-17 - DRAFT  
 DRAWN BY: Author  
 CHECKED BY: Checker

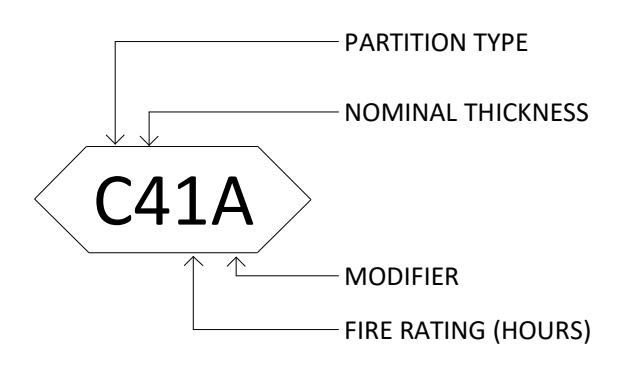
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**THERMAL INSULATION NOTES**

| VERMONT ENERGY CODE REQUIREMENTS |                                    |                     |             |              |
|----------------------------------|------------------------------------|---------------------|-------------|--------------|
| COMPONENT                        | R-VALUE REQUIRED                   | INSULATION          | THICKNESS @ | R/IN = TOTAL |
| ROOF - INSULATION AT ATTIC LEVEL | R49                                | LOOSE CELLULOSE     | 15" @ R3.5  | = R42.5      |
| WALLS ABOVE GRADE - WOOD FRAMED  | R13 BETWEEN STUDS + R12 CONTINUOUS | MINERAL WOOL BATTS  | 4" @ R4     | = R16        |
|                                  |                                    | POLYISO RIGID BOARD | 2" @ R6     | = R12        |
| WALLS BELOW GRADE                | R15 CONTINUOUS                     | XPS RIGID BOARD     | 3" @ R5     | = R15        |
| SLAB ON GRADE FLOORS (UNHEATED)  | R10 FOR ENTIRE SLAB AND PERIMETER  | XPS                 | 2" @ R5     | = R10        |
| OPAQUE DOORS                     | U-0.37 (U-VALUE, NOT R-VALUE)      |                     |             |              |



**PARTITION TYPES**

- A - GYP. BD. ON WOOD STRAPPING
- B - CHASE WALL - GYP. BD. ON WOOD STUDS
- C - WOOD STUD WALL, GYP. BD. BOTH SIDES
- D - WOOD STUD WALL, DOUBLE LAYER GYP. BD. BOTH SIDES
- E - GYP. BD. ON METAL FURRING

**NOMINAL THICKNESS**

- WOOD STUDS**
- 1 = 3/4" STRAPPING
  - 2 = 1 1/2" STUDS, ON FLAT
  - 4 = 3 1/2" STUDS
  - 6 = 5 1/2" STUDS
  - 8 = 7 1/4" STUDS
- METAL STUDS**
- 1 = 7/8" HAT CHANNEL
  - 4 = 3 5/8" STUDS
  - 6 = 6" STUDS

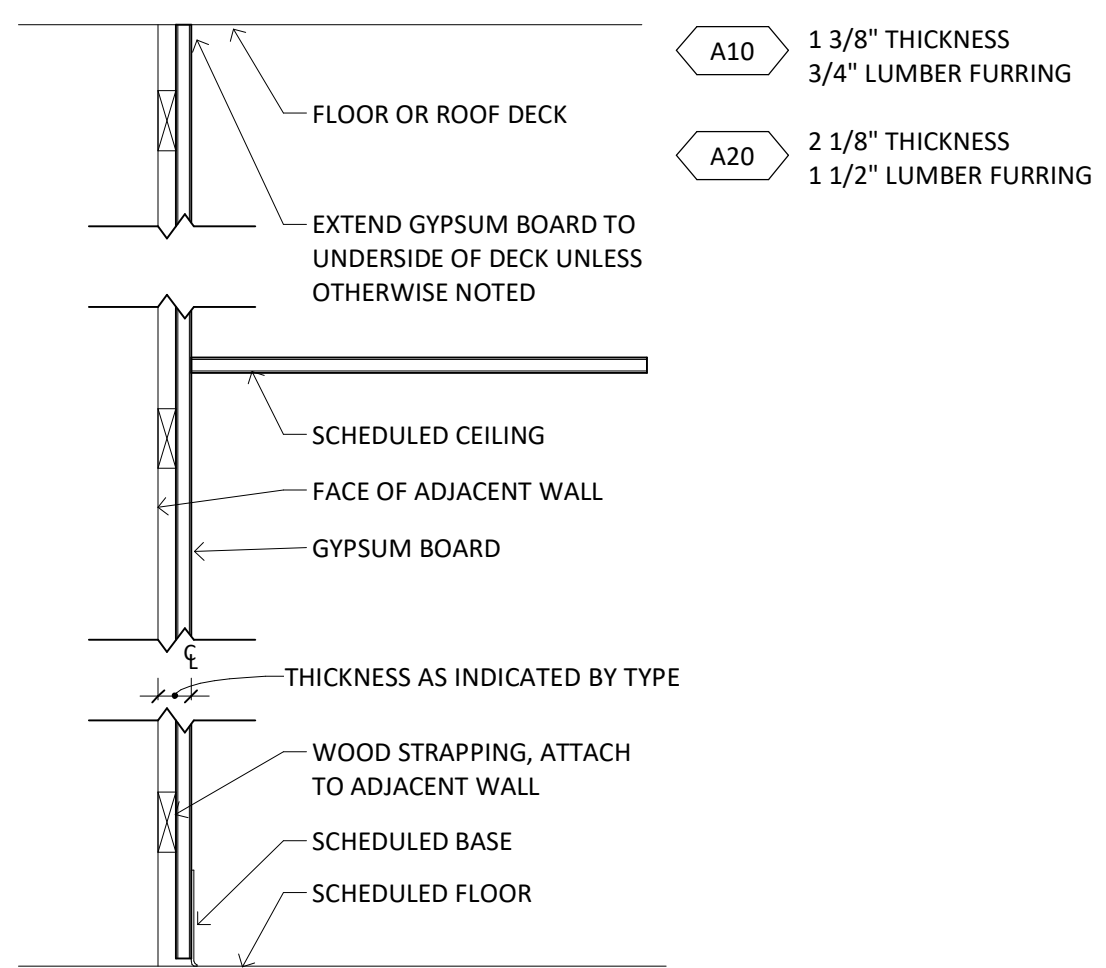
**CMU**

- 8 = 7 5/8" CMU
- 12 = 11 5/8" CMU

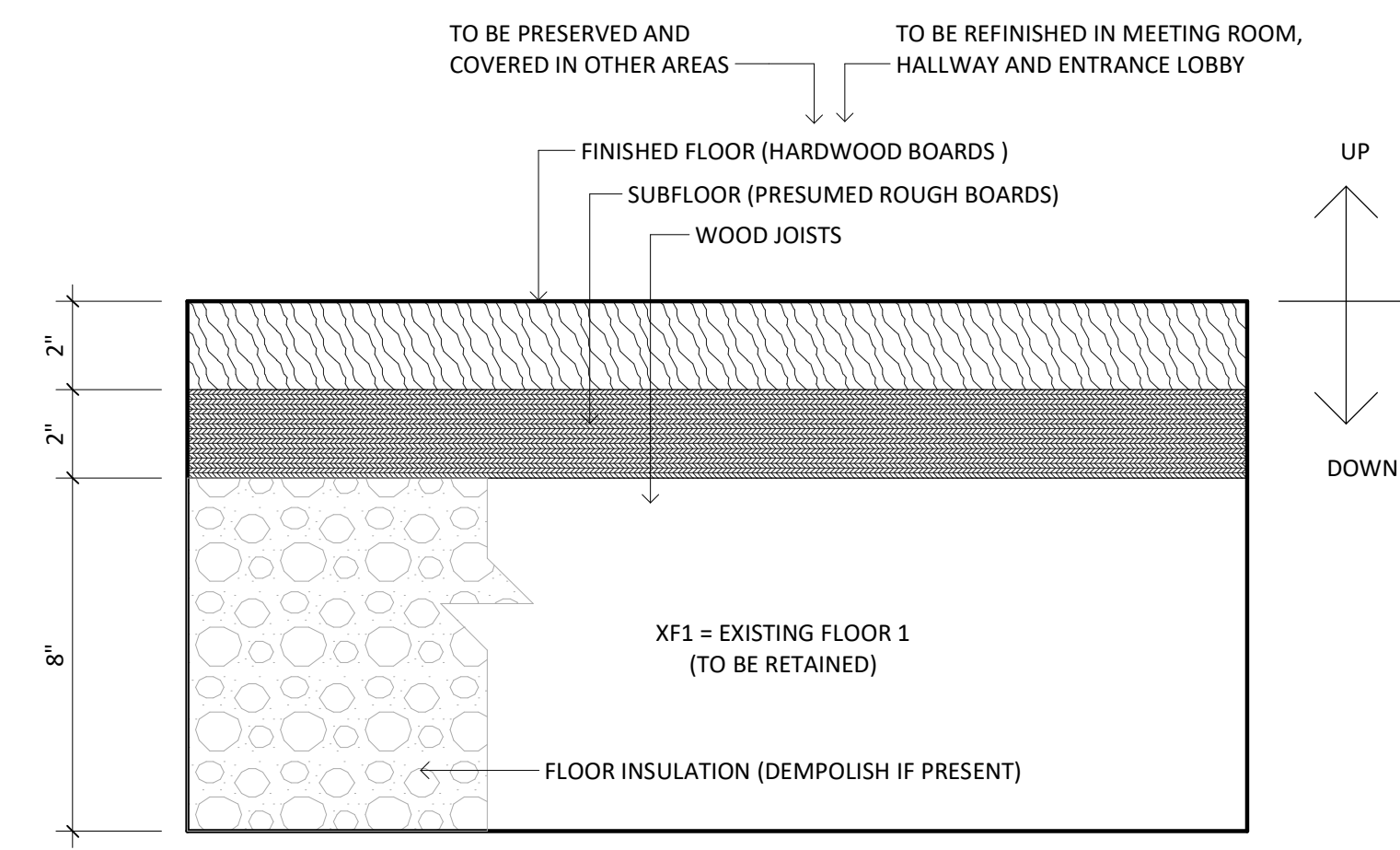
**MODIFIERS**

- A - ACOUSTICAL INSULATION IN CAVITY
- B - GYP. BOARD TO EXTEND 3" MINIMUM ABOVE CEILING

| WALL SCHEDULE - USED                              |           |
|---|-----------|
| Family and Type                                   | Type Mark |
| Basic Wall: B20 - 2 1/8" Partition                | B20       |
| B20: 3  |           |
| Basic Wall: B40 - 4 1/8" Partition                | B40       |
| B40: 1  |           |
| Basic Wall: BTHR - W1                             | W1        |
| W1: 1   |           |
| Basic Wall: BTHR - W LINING 1 - METAL             | WL1       |
| WL1: 5  |           |
| Basic Wall: BTHR - W LINING 2 - GWB               | WL2       |
| WL2: 3  |           |
| Basic Wall: BTHR - W LINING 5 - ACOUSTIC PANELS   |           |
| : 9   |           |
| Basic Wall: BTHR - W LINING - 7" MIN WOOL         | WL15      |
| WL15: 4   |           |
| Basic Wall: BTHR - WF8                            | WF8       |
| WF8: 5  |           |
| Basic Wall: BTHR - WF LINING - 3" XPS             | INX3      |
| INX3: 4   |           |
| Basic Wall: BTHR - WV - VAULT - 9 5/8" BLOCK      | WV        |
| WV: 8   |           |
| Basic Wall: BTHR - XFW1 - BRICK                   |           |
| : 4   |           |
| Basic Wall: BTHR - XP1                            | XP1       |
| XP1: 14   |           |
| Basic Wall: BTHR - XW1 - LINING                   |           |
| : 7   |           |
| Basic Wall: BTHR - XW1 - STRUCT + EXT (NO LINING) | XW1       |
| XW1: 14   |           |
| Basic Wall: C40 - 4 3/4" Partition                | C40       |
| C40: 25   |           |
| Basic Wall: WL - 3/4" PLY                         | WL7       |
| WL7: 1  |           |
| Curtain Wall: BTHR - Storefront - INT - FIX NO    | STFT      |
| STFT: 4   |           |

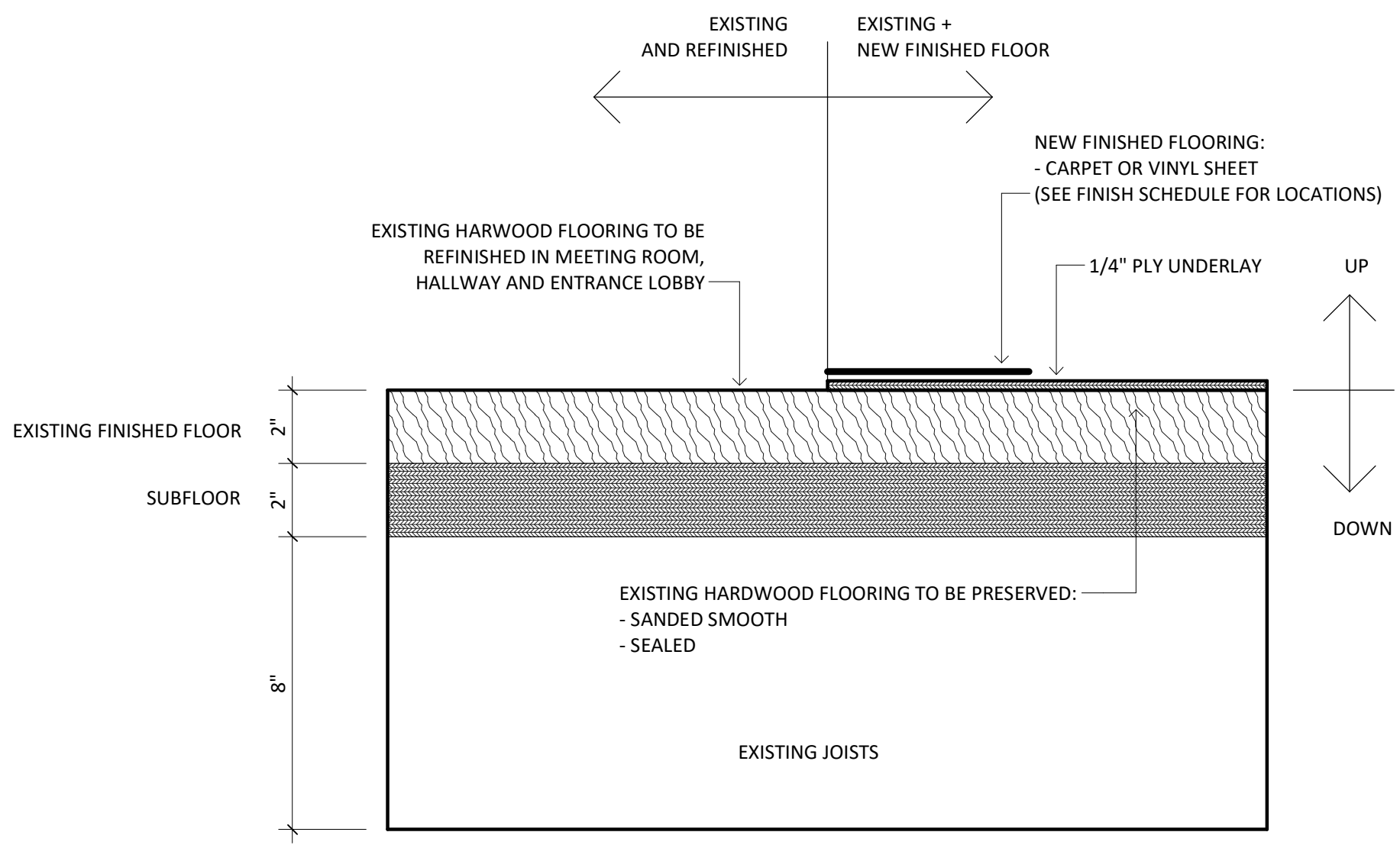


**1 PARTITION TYPE A**  
SCALE: 1 1/2" = 1'-0"



NOTE: ALL EXISTING DIMENSIONS ARE TO BE VERIFIED ON SITE.

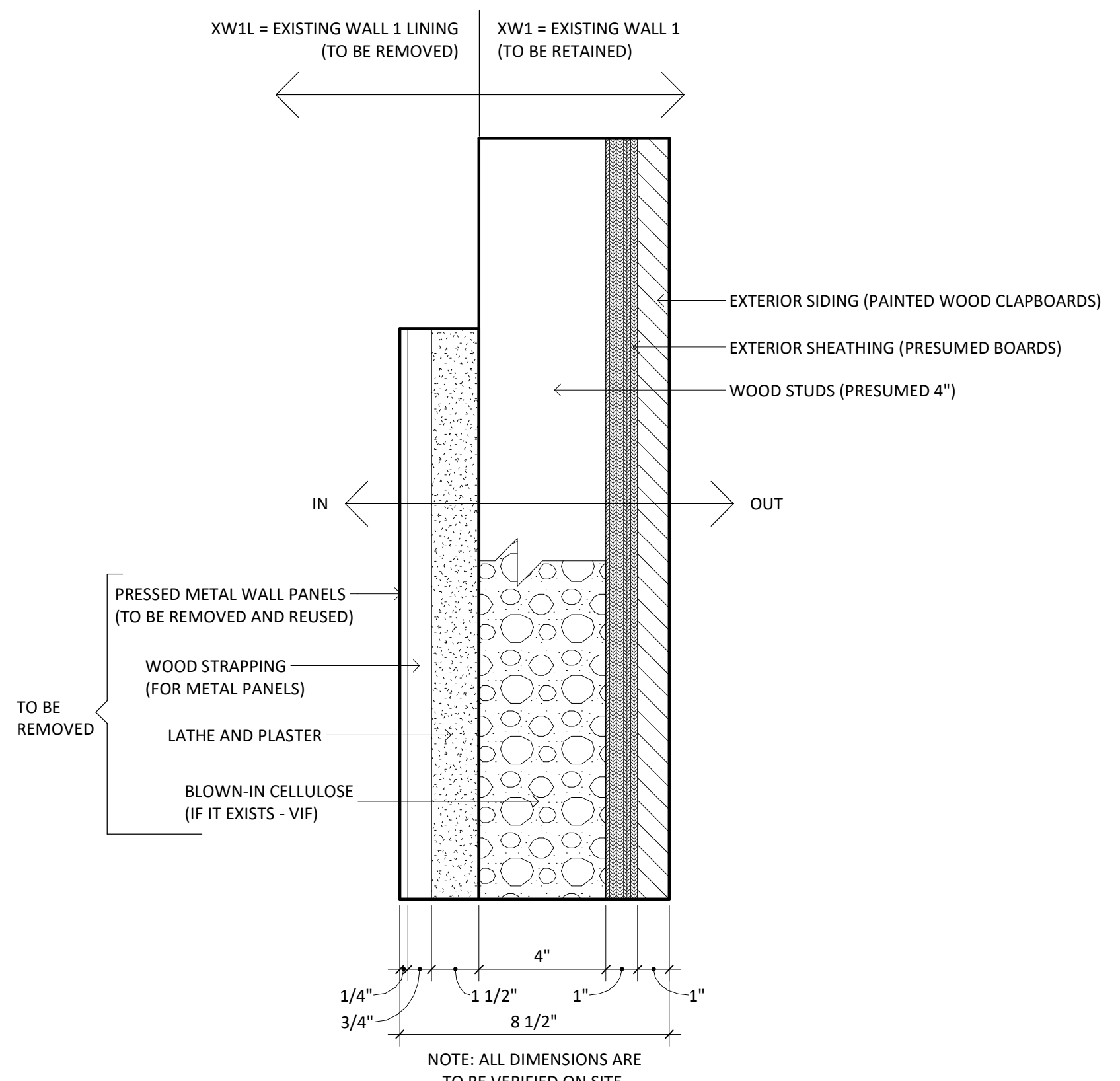
**XF1 - EXISTING FLOOR 1**  
SCALE: 3" = 1'-0"



NOTE: ALL EXISTING DIMENSIONS ARE TO BE VERIFIED ON SITE.

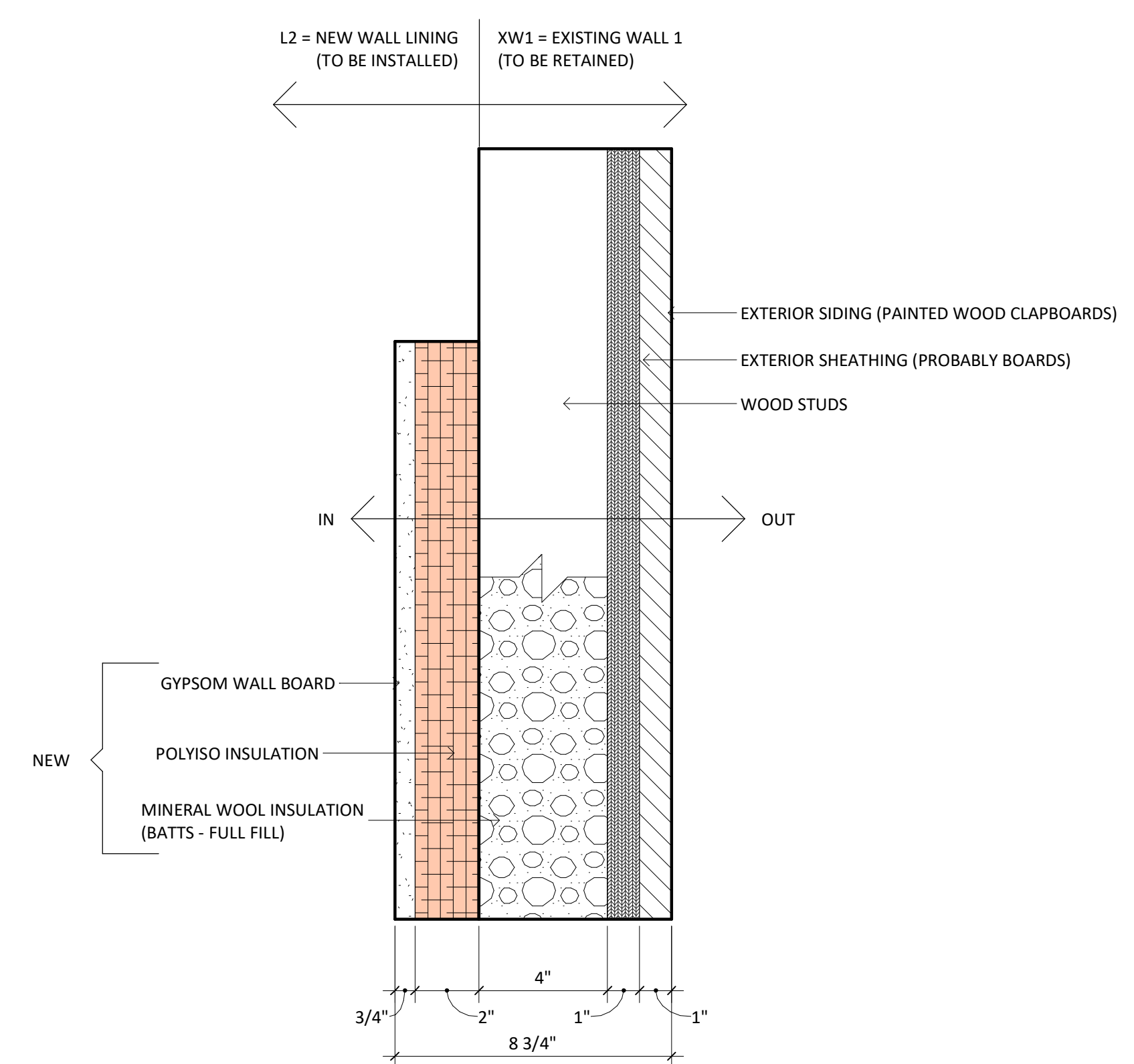
**XF1 - EXISTING FLOOR 1 + NEW LAYERS**  
SCALE: 3" = 1'-0"

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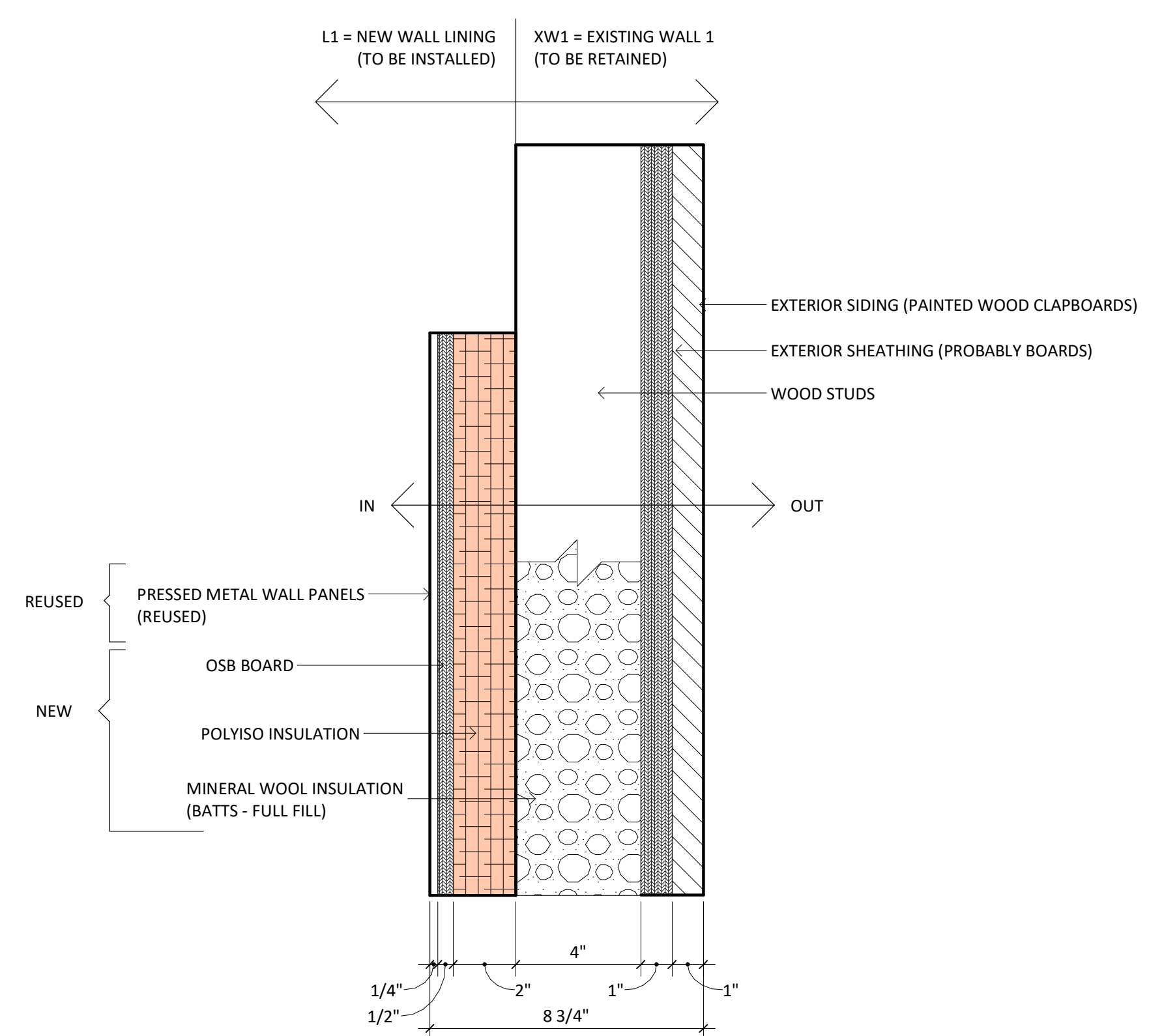
NOTE: ALL DIMENSIONS ARE TO BE VERIFIED ON SITE.

**XW1 - EXISTING WALL 1 + LINING (DEMO)**  
SCALE: 3" = 1'-0"



NOTE: ALL DIMENSIONS ARE TO BE VERIFIED ON SITE.

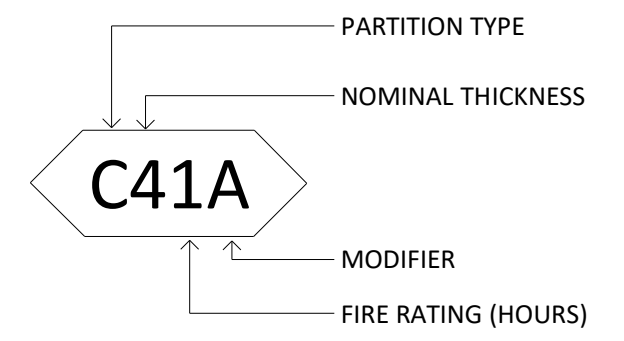
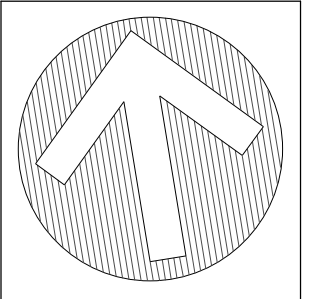
**XW1+L2 - EXISTING WALL + GWB (NEW)**  
SCALE: 3" = 1'-0"



NOTE: ALL DIMENSIONS ARE TO BE VERIFIED ON SITE.

**XW1+L1 - EXISTING WALL + METAL PANELS (REUSED)**  
SCALE: 3" = 1'-0"





**PARTITION TYPES**

- A - GYP. BD. ON WOOD STRAPPING
- B - CHASE WALL - GYP. BD. ON WOOD STUDS
- C - WOOD STUD WALL, GYP. BD. BOTH SIDES
- D - WOOD STUD WALL, DOUBLE LAYER GYP. BD. BOTH SIDES
- E - GYP. BD. ON METAL FURRING

**NOMINAL THICKNESS**

- WOOD STUDS  
 1 = 3/4" STRAPPING  
 2 = 1 1/2" STUDS, ON FLAT  
 4 = 3 1/2" STUDS  
 6 = 5 1/2" STUDS  
 8 = 7 1/4" STUDS

- METAL STUDS  
 1 = 7/8" HAT CHANNEL  
 4 = 3 5/8" STUDS  
 6 = 6" STUDS

- CMU  
 8 = 7 5/8" CMU  
 12 = 11 5/8" CMU

**MODIFIERS**

- A - ACOUSTICAL INSULATION IN CAVITY
- B - GYP. BOARD TO EXTEND 3" MINIMUM ABOVE CEILING

**PARTITION TYPES KEY**  
 SCALE: 3/4" = 1'-0"

**BARNET TOWN HALL RENOV.**  
 BARNET, VERMONT



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ASSEMBLY TYPES 2  
**SCALE**  
 3/4" = 1'-0"  
**DATE**  
 2023-05-17 - DRAFT  
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 Author  
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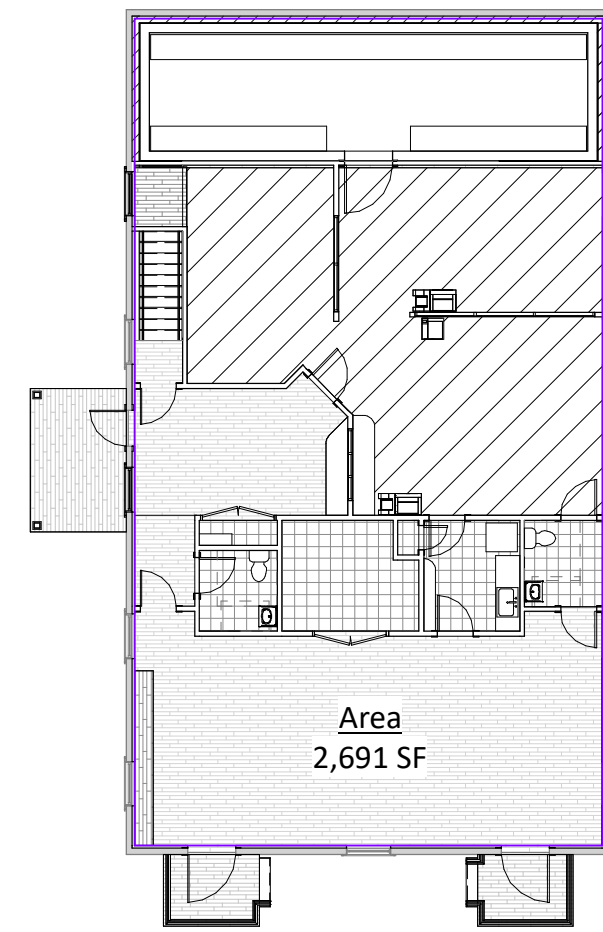


0 - CODE SUMMARY

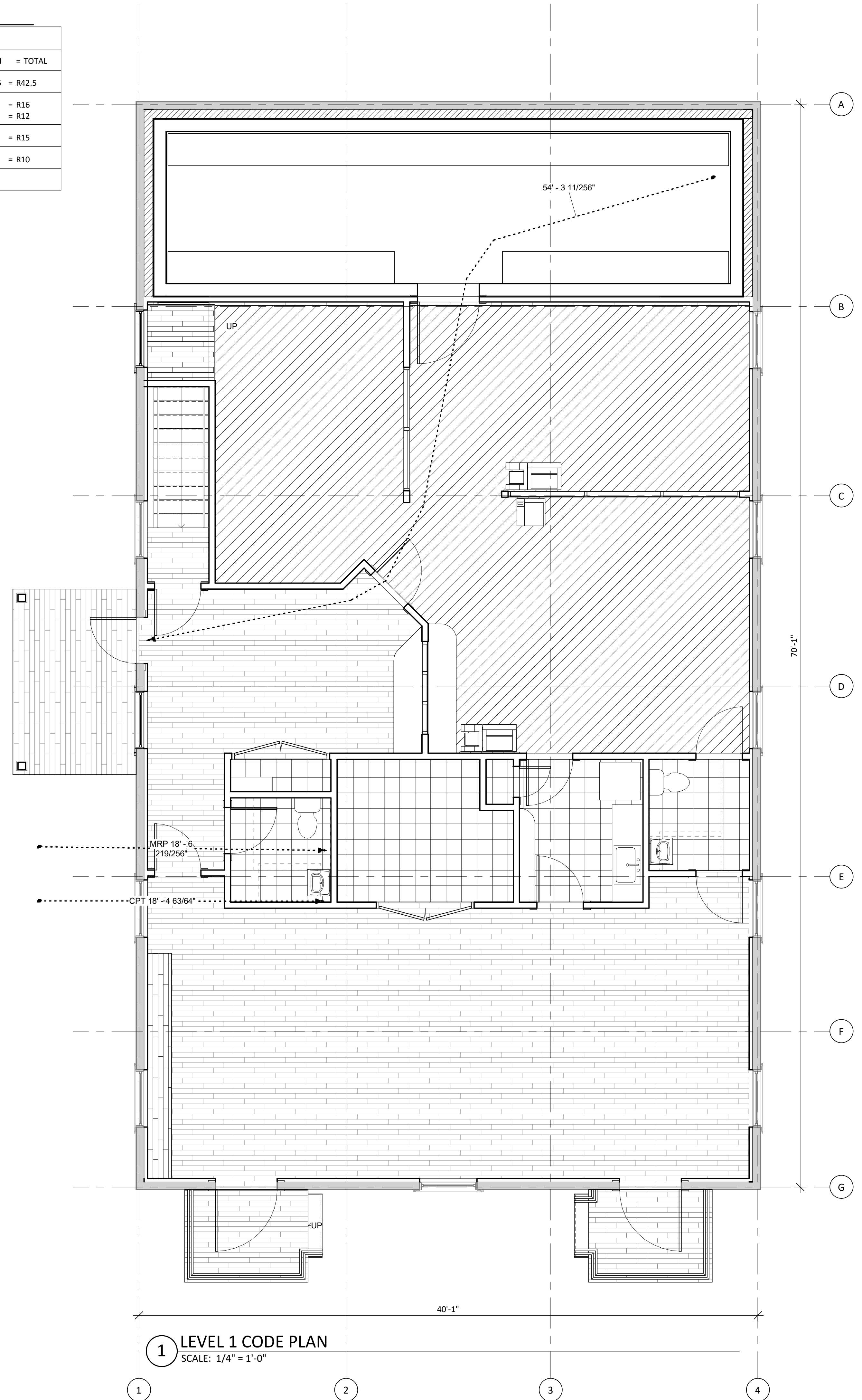
| PROJECT DESCRIPTION  |  |
|--|--|
| BARNET TOWN HALL<br>154 CHURCH STREET<br>BARNET, VT, 05821 | The project consists of general renovation of the building and site. Exterior building work includes: new entrance porch, new front steps, re-finishing of exterior walls, renovation of existing windows, minor alterations to exterior. Interior work includes: storage area in basement, new two-level vault for town records, re-arrangement of internal spaces on the main floor to provide offices for town clerk, lister and other municipal functions, new meeting room, new flooring, ceilings and finishes, preservation of existing historic elements (windows, tin paneling, tin ceiling) in specified areas. Utilities and Services work includes: new water main, new HVAC system, new septic system, new electrical system. |
| PROJECT TYPE   | RENOVATION LS 43   |
| CHANGE OF USE OR HAZARD GROUP                              | NO HISTORIC BUILDING NO LS 43  |
| APPLICABLE CODES   | 2015 VERMONT FIRE & BUILDING SAFETY CODE 2015 LIFE SAFETY chapter xx<br>2012 VERMONT ACCESS RULES, ADA 2010 2015 NFPA 1 chapter xx<br>2015 IBC - confirm applicable chapters chapter xx  |
| SPRINKLER / USE GROUP / CONSTRUCTION TYPE                  | CHAPTER 13 NFPA 1 SPRINKLER SYSTEM NO<br>OCCUPANCY CLASSIFICATION IBC p.41 or LS p.43<br>MIXED USE NO<br>CONSTRUCTION TYPE 5B IBC chapter 6 or LS page 386   |
| HEIGHT AND AREA CALCULATIONS                               | FOOTPRINT 220'-8" LF.<br>PERIMETER 40'-2" LF.<br>FRONTAGE xx SQ. FT.<br>ALLOWABLE SQ. FT. 0 %<br>ALLOWABLE SQ. FT. INCREASE (Frontage) 0 %<br>ALLOWABLE SQ. FT. INCREASE (Sprinkler) 0 %<br>TOTAL ALLOWABLE SQ. FT. 2822 SQ. FT.<br>TOTAL PROPOSED SQ. FT. 2822 SQ. FT.<br>EXISTING SQ. FT. 0 SQ. FT.<br>PROPOSED ADDITION SQ. FT. 0 SQ. FT.<br>NEW SQ. FT. TOTALS 0 SQ. FT.   |
| BUILDING HEIGHT AND AREA                                   | ALLOWABLE PROPOSED<br>STORIES ABOVE GRADE 1 1<br>BUILDING HEIGHT x x<br>LARGEST FLOOR AREA 2822 SQ. FT. 2822 SQ. FT.   |
| OCCUPANT LOAD: Section 7.3.101, Table 7.3.1.2              | applicable space square feet / load factor (LS p.74) xx occupants<br>TOTAL square feet / load factor (LS p.74) xx occupants  |
| FIRE RESISTANCE RATINGS - BUILDING                         | RATING IBC Table 601 - when applicable or LS p.386<br>PRIMARY STRUCTURAL FRAME 0 HR.<br>BEARING WALLS EXTERIOR 0 HR.<br>INTERIOR 0 HR.<br>NONBEARING EXTERIOR WALLS 0 HR.<br>FLOOR 0 HR.<br>ROOF 0 HR.   |
| MEANS OF EGRESS  | ALLOWABLE PROPOSED Identify code & section<br>MINIMUM CORRIDOR WIDTH qty. / floor qty. / floor XX<br>NUMBER OF EXITS x'-x" x'-x" XX<br>DEAD END CORRIDOR LENGTH x'-x" x'-x" XX<br>COMMON PATH OF TRAVEL x'-x" x'-x" XX<br>MAXIMUM TRAVEL DISTANCE TO EXITS x'-x" x'-x" XX  |
| FIRE RESISTANCE RATINGS - SPACES                           | Identify code & section<br>VERTICAL OPENINGS x HR.<br>EXITS x HR.<br>STAIRS x HR.<br>EXIT ACCESS CORRIDORS (NEW) x HR.<br>EXIT ACCESS CORRIDORS (EXISTING) x HR.<br>INCIDENTAL SPACES<br>MECHANICAL ROOMS XHR. or SPRINKLED<br>JANITOR CLOSET XHR. or SPRINKLED<br>STORAGE ROOMS XHR. or SPRINKLED   |
| DETECTION AND ALARM (confirm with Electrical Engineer)     | INITIATION (confirm with Electrical Engineer)<br>NOTIFICATION (confirm with Electrical Engineer)<br>DETECTION (confirm with Electrical Engineer)   |
| PLUMBING FIXTURE COUNT                                     | Water Closets Lavatories Tubs / Showers Drinking Fountains Other<br>Male X X X X X<br>Female X X X X X   |
| SPECIAL CONDITIONS   | X<br>X   |

THERMAL INSULATION NOTES

| VERMONT ENERGY CODE REQUIREMENTS |                                    |  |                    |                |
|----------------------------------|------------------------------------|--|--------------------|----------------|
| COMPONENT                        | R-VALUE REQUIRED                   | INSULATION                             | THICKNESS @ R/IN   | = TOTAL        |
| ROOF - INSULATION AT ATTIC LEVEL | R49                                | LOOSE CELLULOSE                        | 15" @ R3.5         | = R42.5        |
| WALLS ABOVE GRADE - WOOD FRAMED  | R13 BETWEEN STUDS + R12 CONTINUOUS | MINERAL WOOL BATTS POLYISO RIGID BOARD | 4" @ R4<br>2" @ R6 | = R16<br>= R12 |
| WALLS BELOW GRADE                | R15 CONTINUOUS                     | XPS RIGID BOARD                        | 3" @ R5            | = R15          |
| SLAB ON GRADE FLOORS (UNHEATED)  | R10 FOR ENTIRE SLAB AND PERIMETER  | XPS                                    | 2" @ R5            | = R10          |
| OPAQUE DOORS                     | U-0.37 (U-VALUE, NOT R-VALUE)      |  |                    |                |

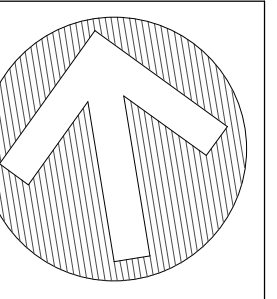


2 GROSS AREA PLAN  
SCALE: 1/16" = 1'-0"



1 LEVEL 1 CODE PLAN  
SCALE: 1/4" = 1'-0"

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BARNET TOWN HALL RENO.  
BARNET, VERMONT

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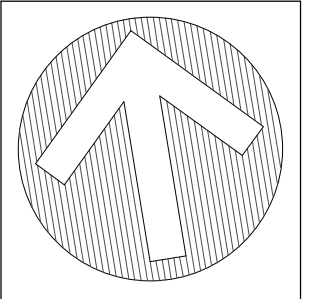
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CODE PLANS & SUMMARY  
SCALE As indicated  
DATE 2023-05-17 - DRAFT  
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BARNET, VERMONT

**BLACK RIVER DESIGN**  
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BATHROOMS - PLANS AND ELEVATIONS

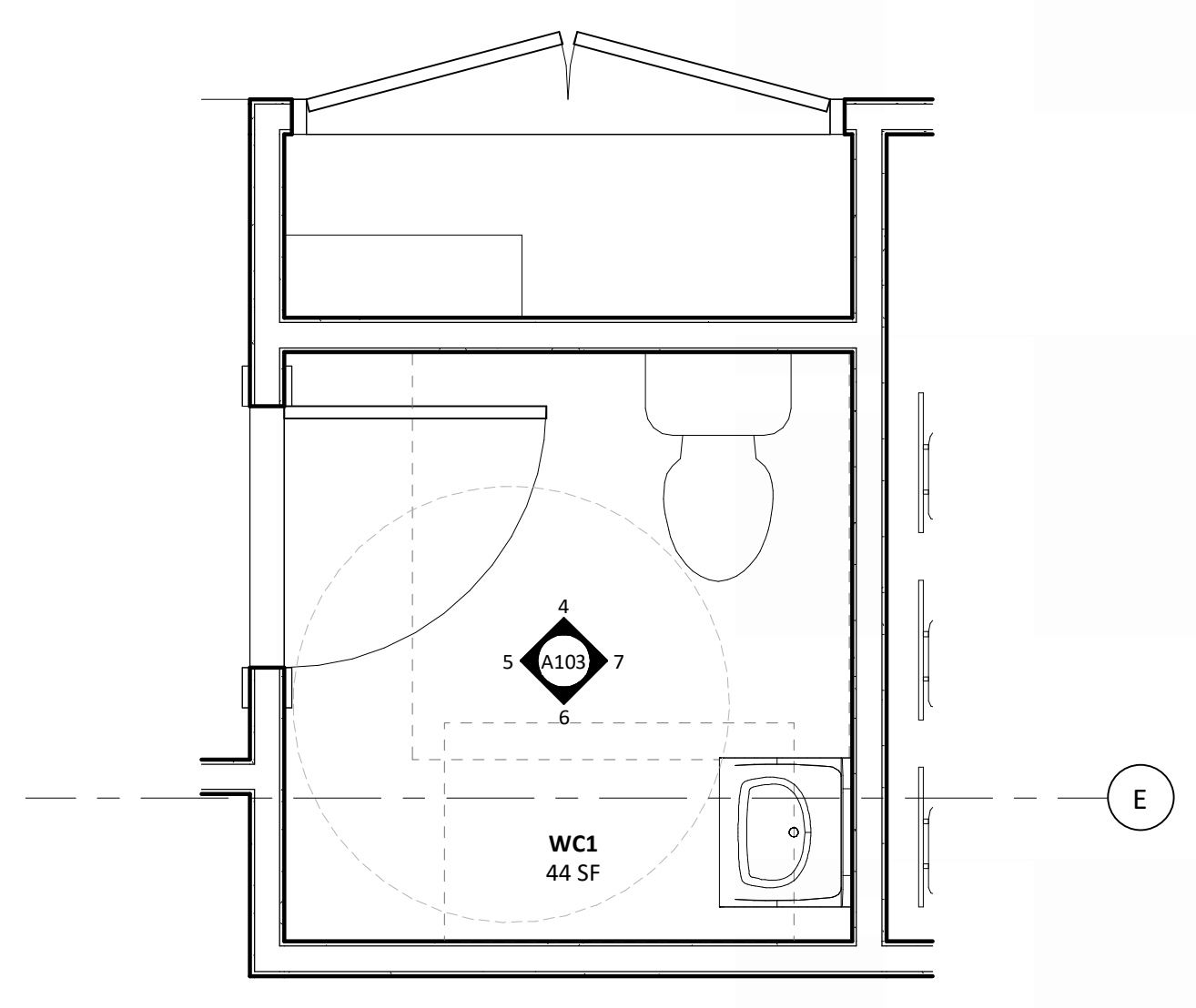
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As indicated

**DATE**  
2023-05-17 - DRAFT

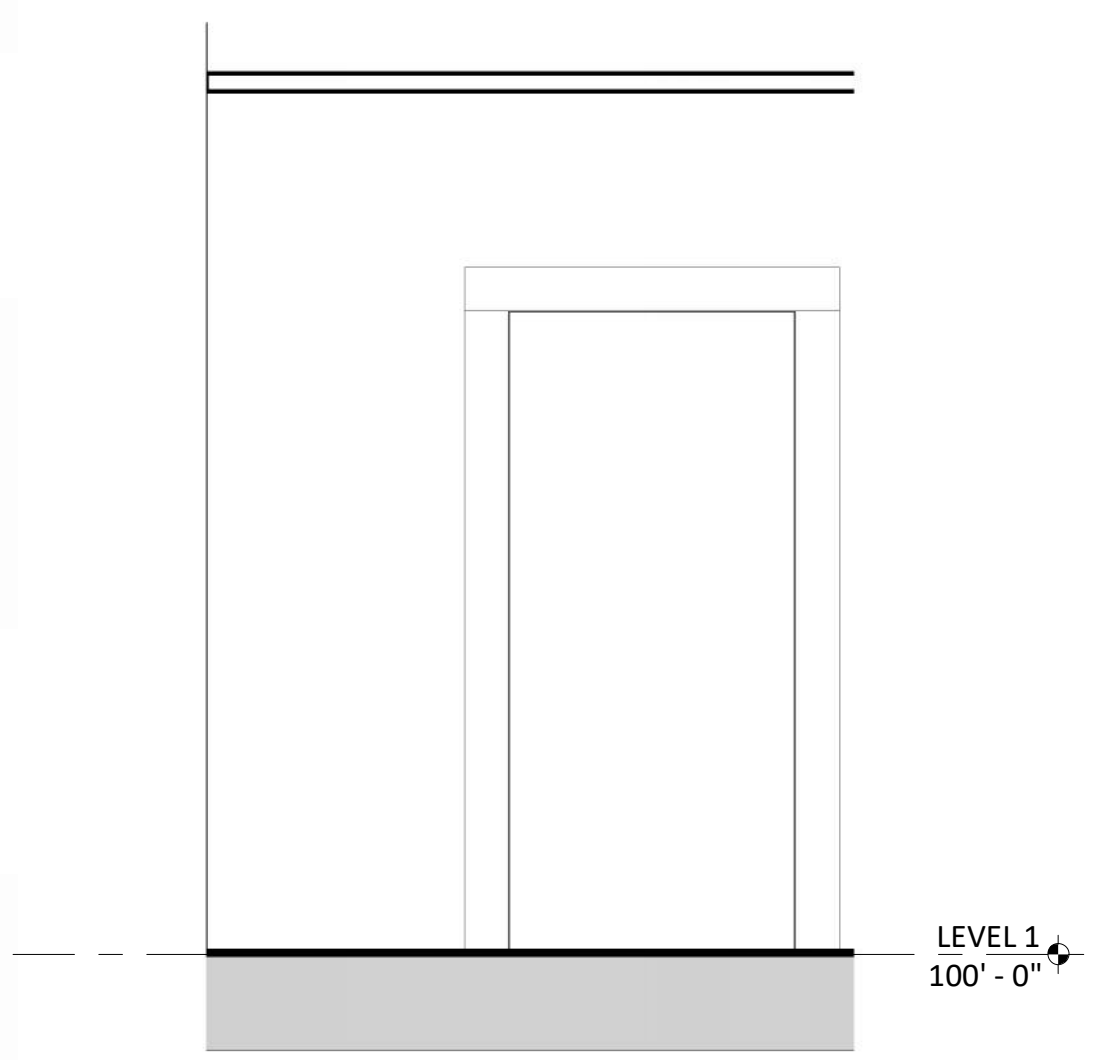
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Author

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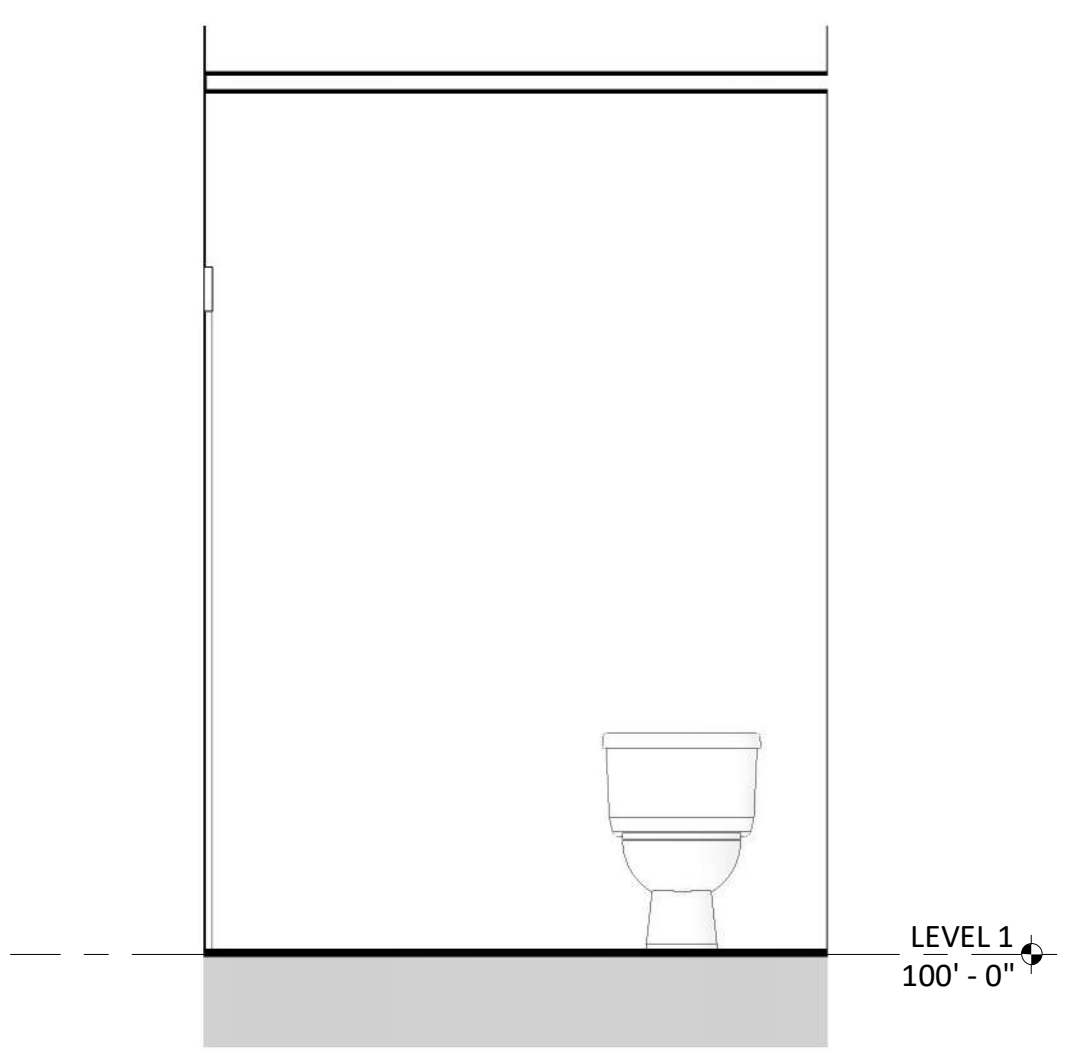
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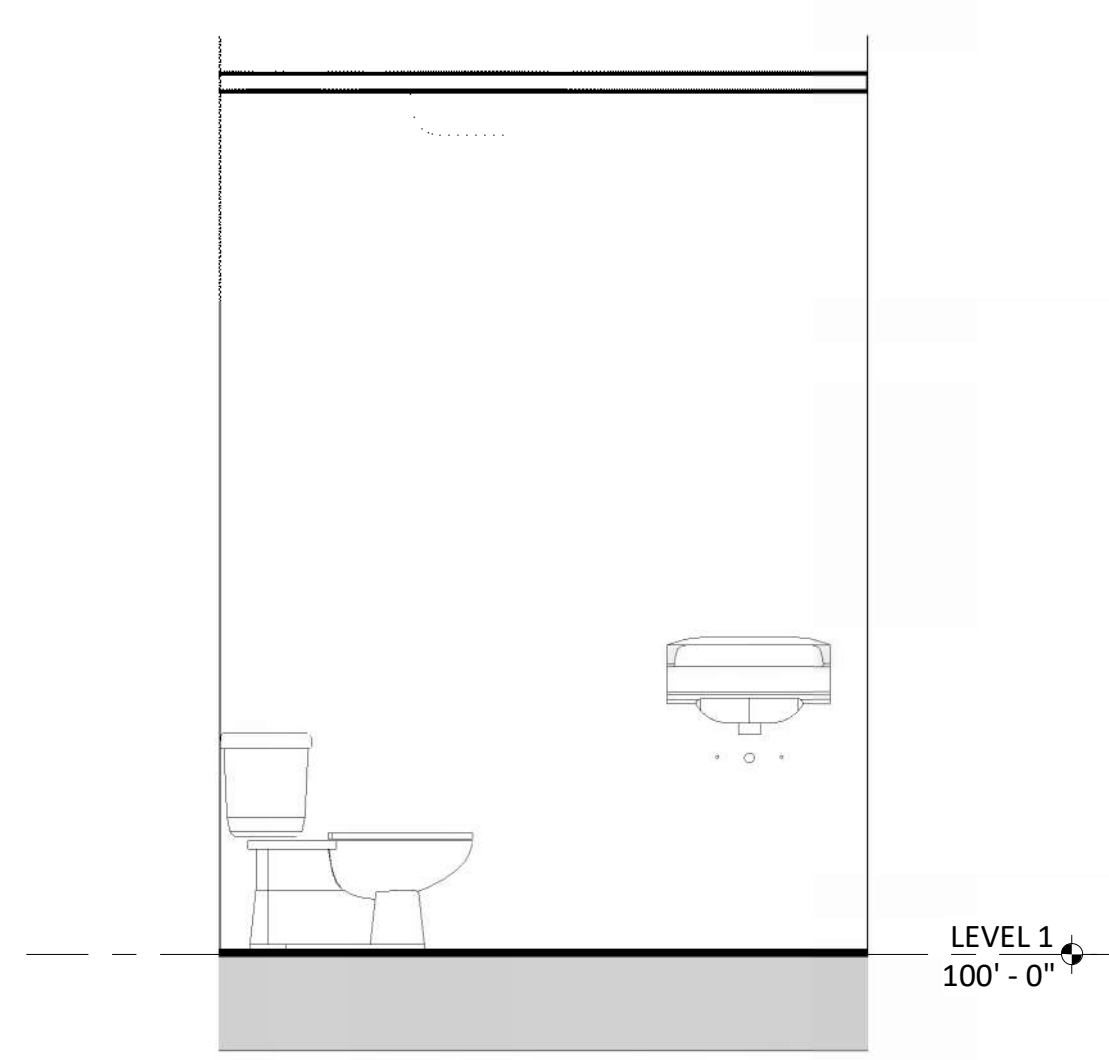
**ENLARGED PLAN OF BATHROOM 1 AND JANITOR'S CLOSET**



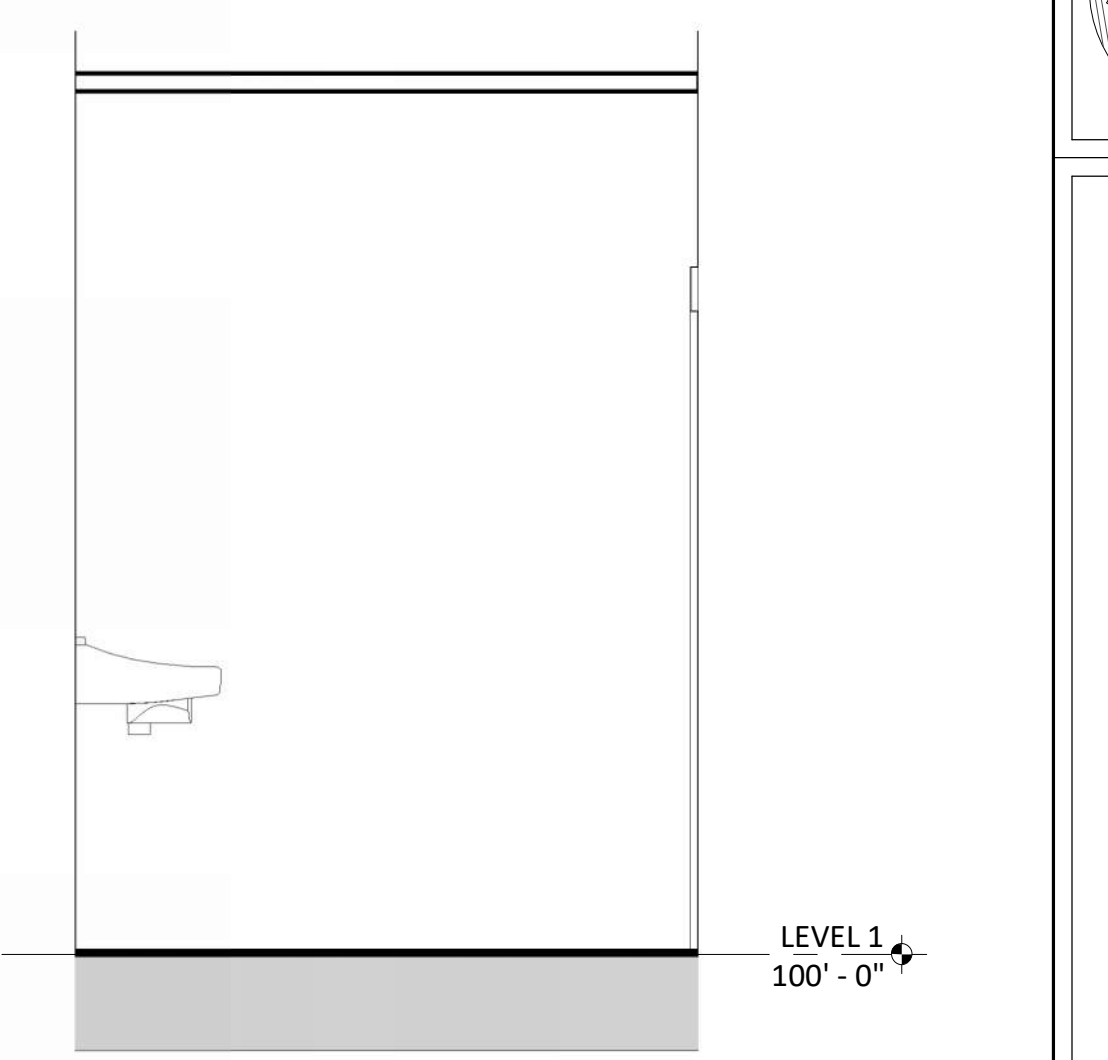
**5 ELEV - INT - WC1 W**  
SCALE: 1/2" = 1'-0"



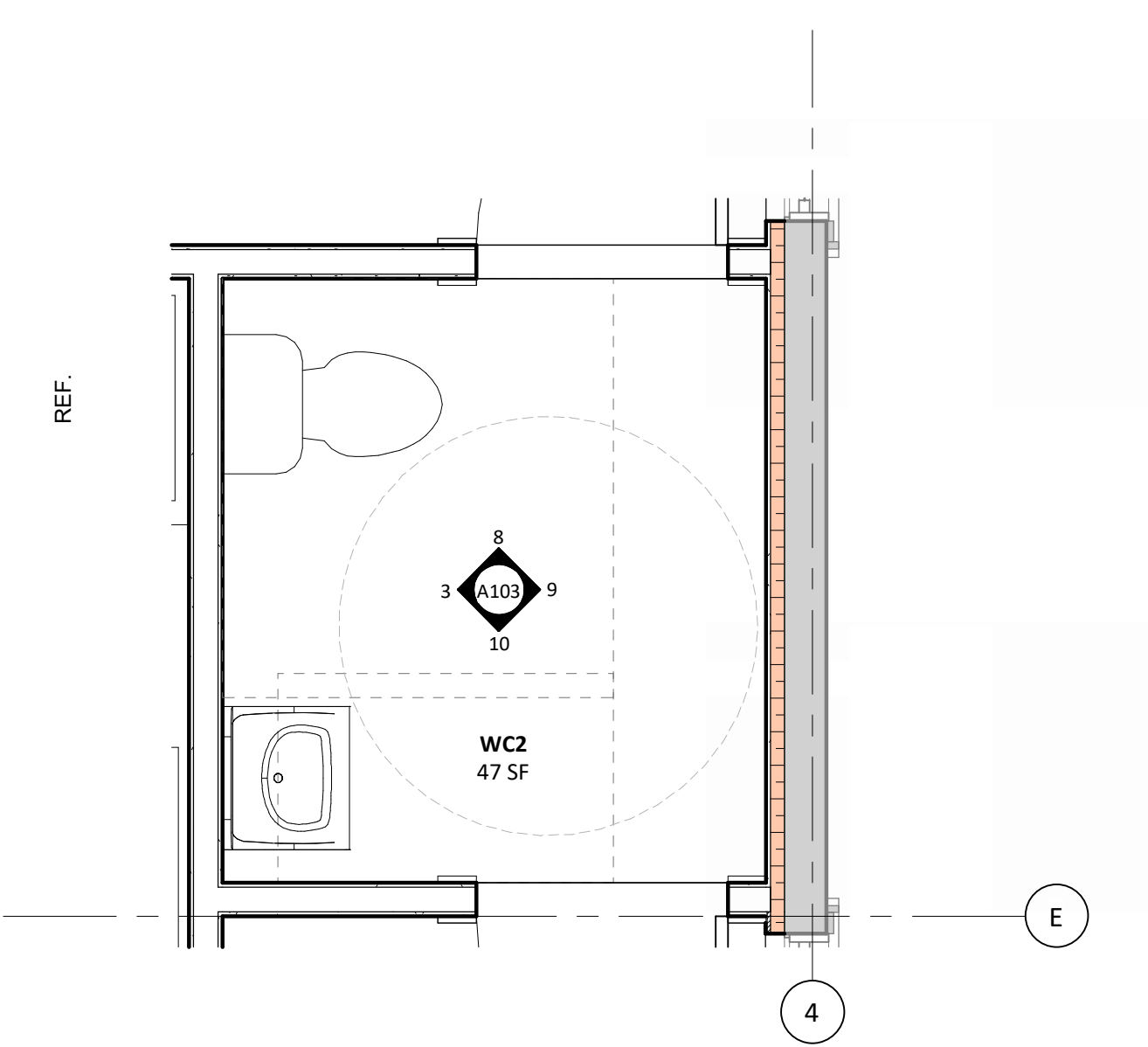
**4 ELEV - INT - WC1 - N**  
SCALE: 1/2" = 1'-0"



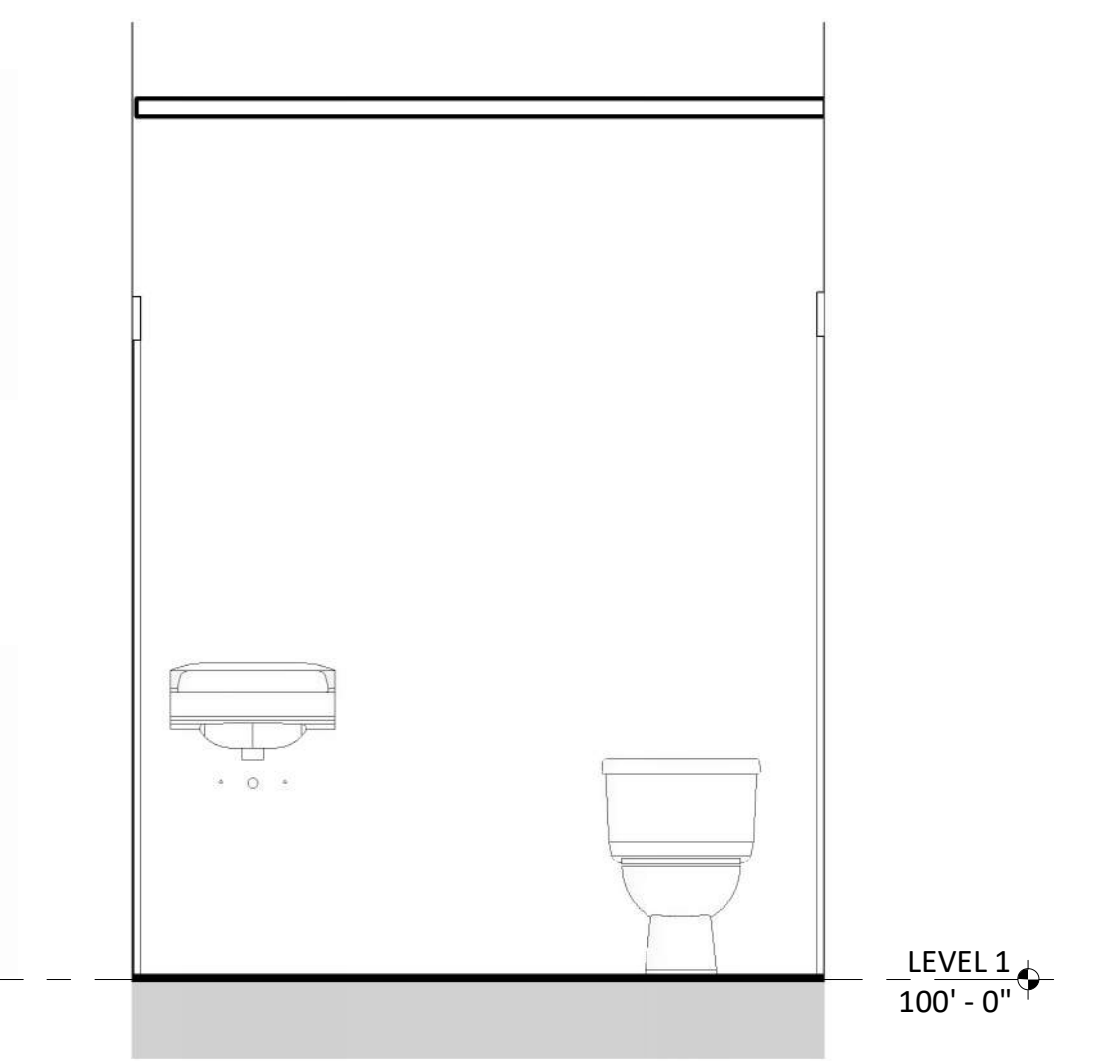
**7 ELEV - INT - WC1 - E**  
SCALE: 1/2" = 1'-0"



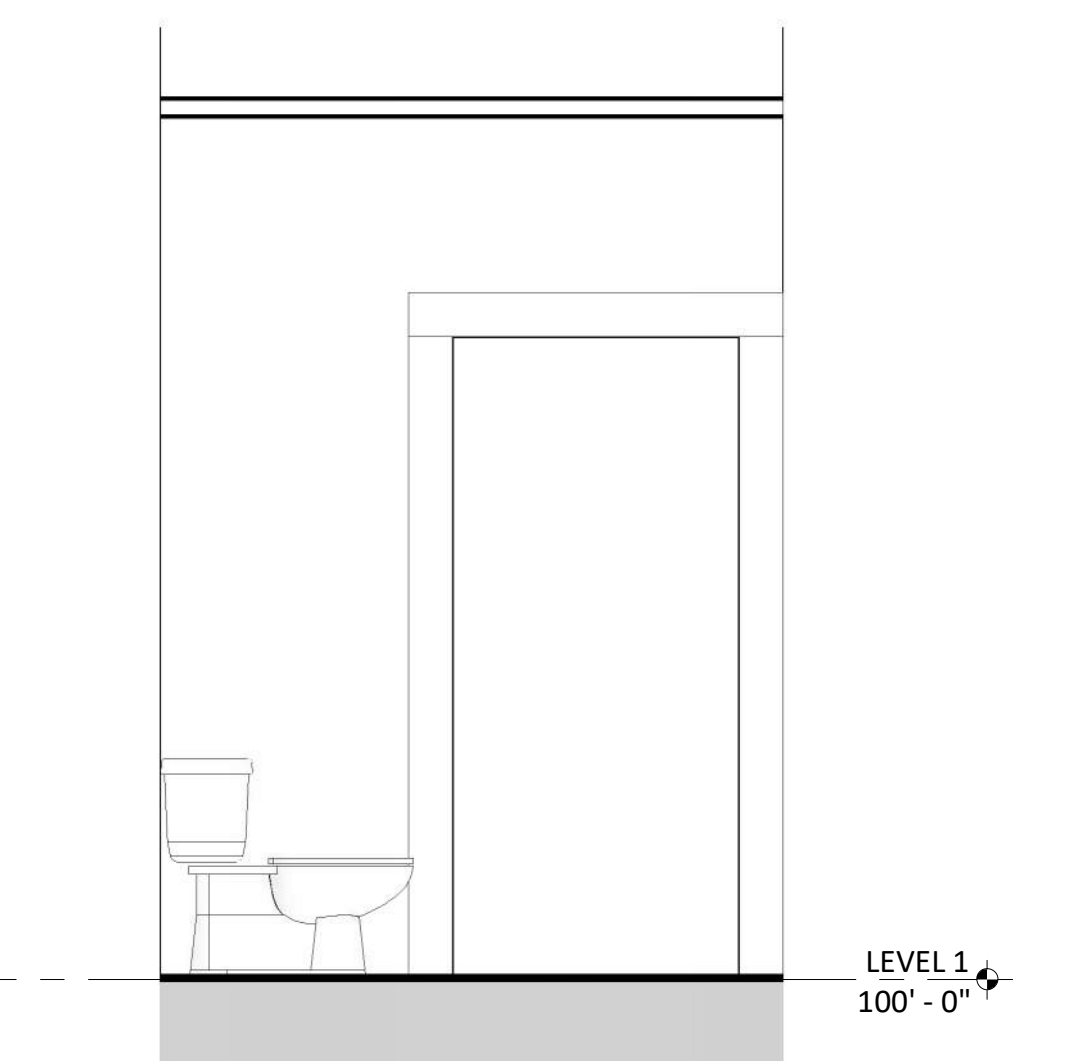
**6 ELEV - INT - WC1 - S**  
SCALE: 1/2" = 1'-0"



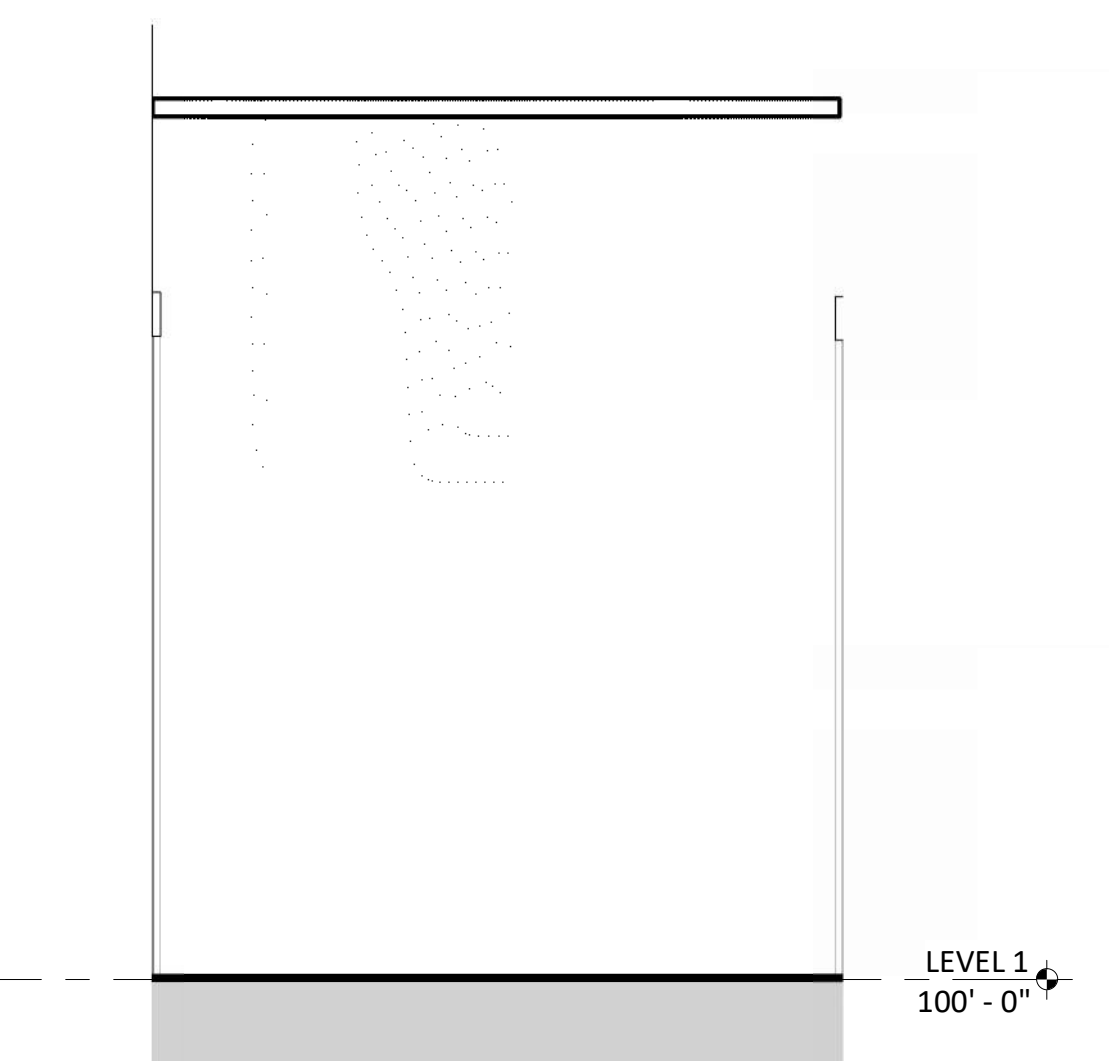
**2 ENLARGED PLAN OF BATHROOM 2**  
SCALE: 1/2" = 1'-0"



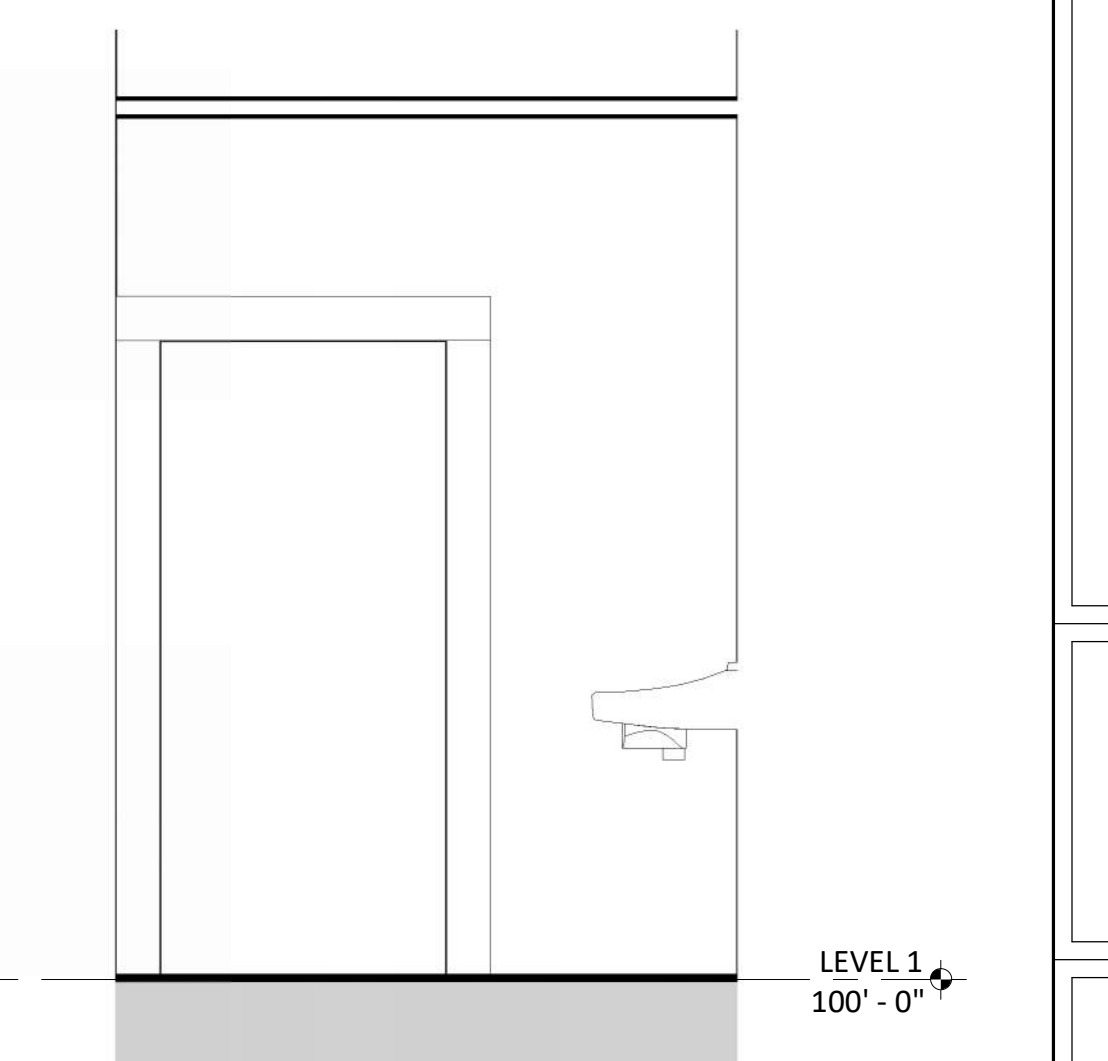
**3 ELEV - INT - WC2 - W**  
SCALE: 1/2" = 1'-0"



**8 ELEV - INT - WC2 - N**  
SCALE: 1/2" = 1'-0"



**9 ELEV - INT - WC2 - E**  
SCALE: 1/2" = 1'-0"



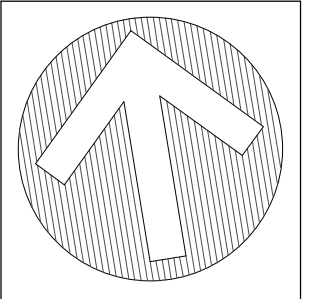
**10 ELEV - INT - WC2 - S**  
SCALE: 1/2" = 1'-0"

**RESTROOM ACCESSORIES LEGEND**

- GBXX GRAB BAR (XX" LONG)
- MIR-AXB 18" x 36" MIRROR (A" WIDE X B" TALL)
- WR WASTE RECEPTACLE
- PT PAPER TOWEL DISPENSER (OWNER FURNISHED, CONTRACTOR INSTALLED)
- SD SOAP DISPENSER (OWNER FURNISHED, CONTRACTOR INSTALLED)
- TTD TOILET TISSUE DISPENSER (OWNER FURNISHED, CONTRACTOR INSTALLED)
- SND SANITARY NAPKIN DISPOSAL
- DCS DIAPER CHANGING STATION
- RH ROBE HOOK, MOUNT ON BACK SIDE OF ALL EACH SHOWER AND SINGLE OCCUPANCY BATHROOM DOORS
- FD FLOOR DRAIN
- MOPS MOP & BROOM HOLDER, PROVIDE AT EACH JANITOR CLOSET, JANITOR/ELECTRIC CLOSET, AND FACILITIES ROOM
- HNSN HAND SANITIZER DISPENSER (OWNER FURNISHED, CONTRACTOR INSTALLED)

**DD DRAFT SET**  
**2023-06-26**





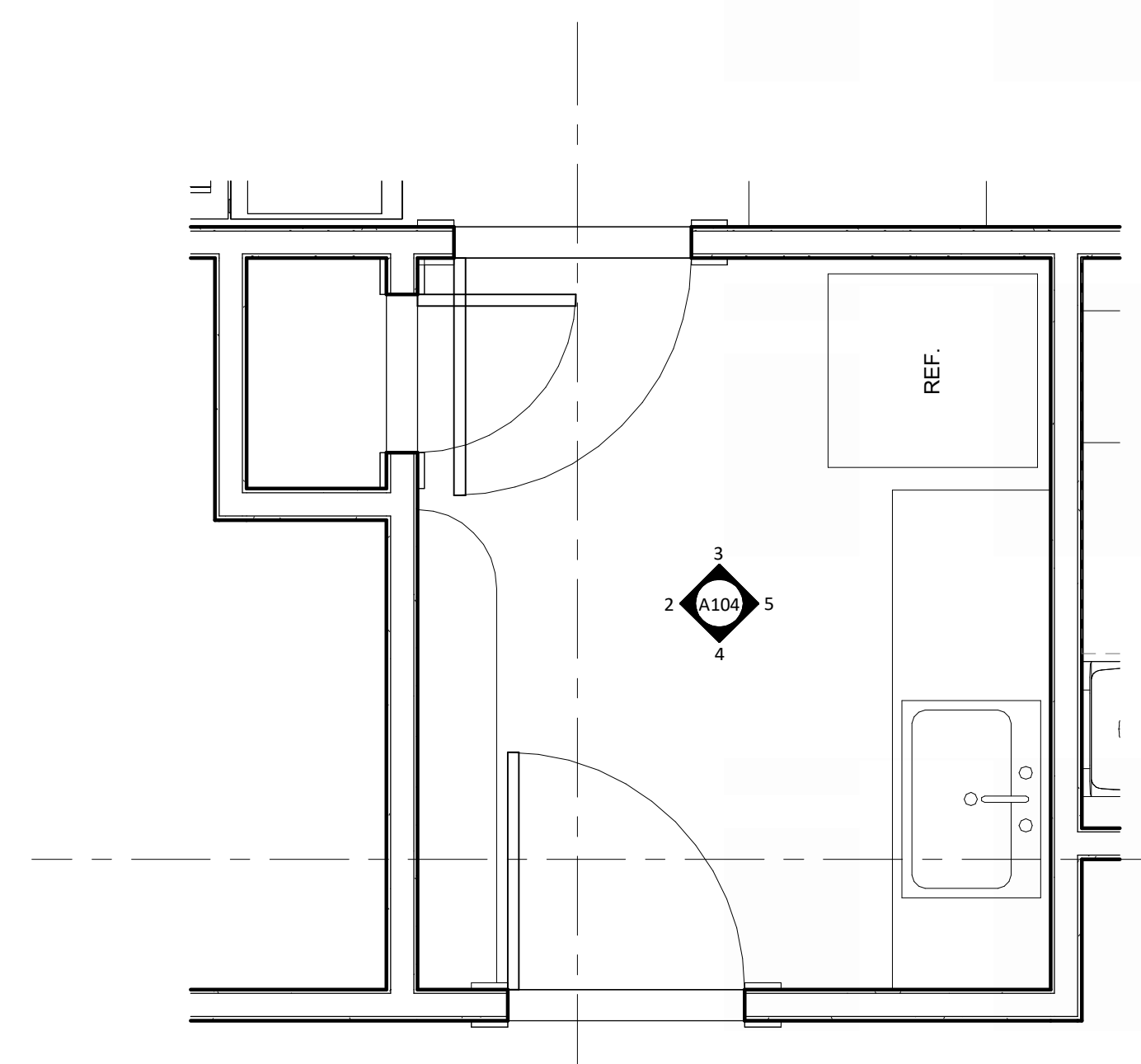
**BARNET TOWN HALL RENO.**  
BARNET, VERMONT



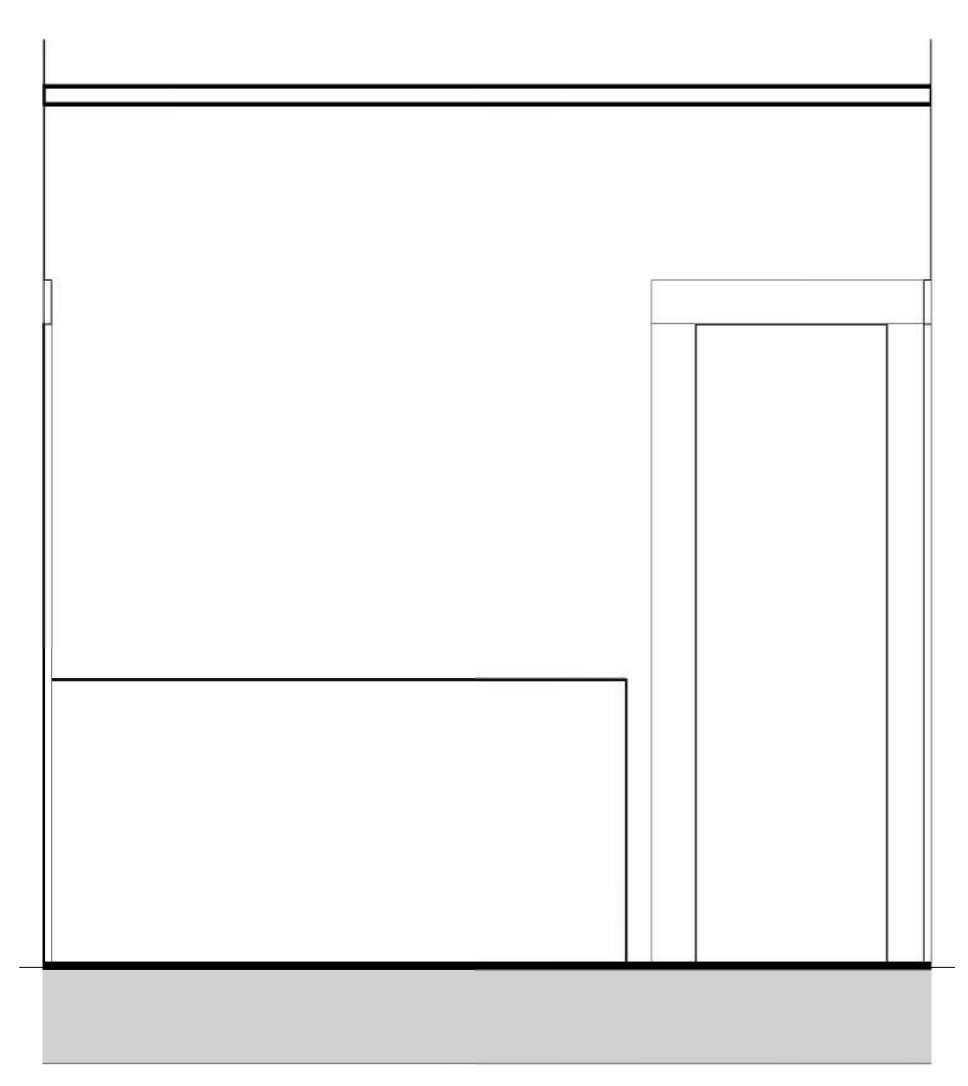
| REVISIONS |  |
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KITCHEN - PLAN AND ELEVATIONS  
**SCALE**  
 1/2" = 1'-0"  
**DATE**  
 2023-05-17 - DRAFT  
**DRAWN BY**  
 Author  
**CHECKED BY**  
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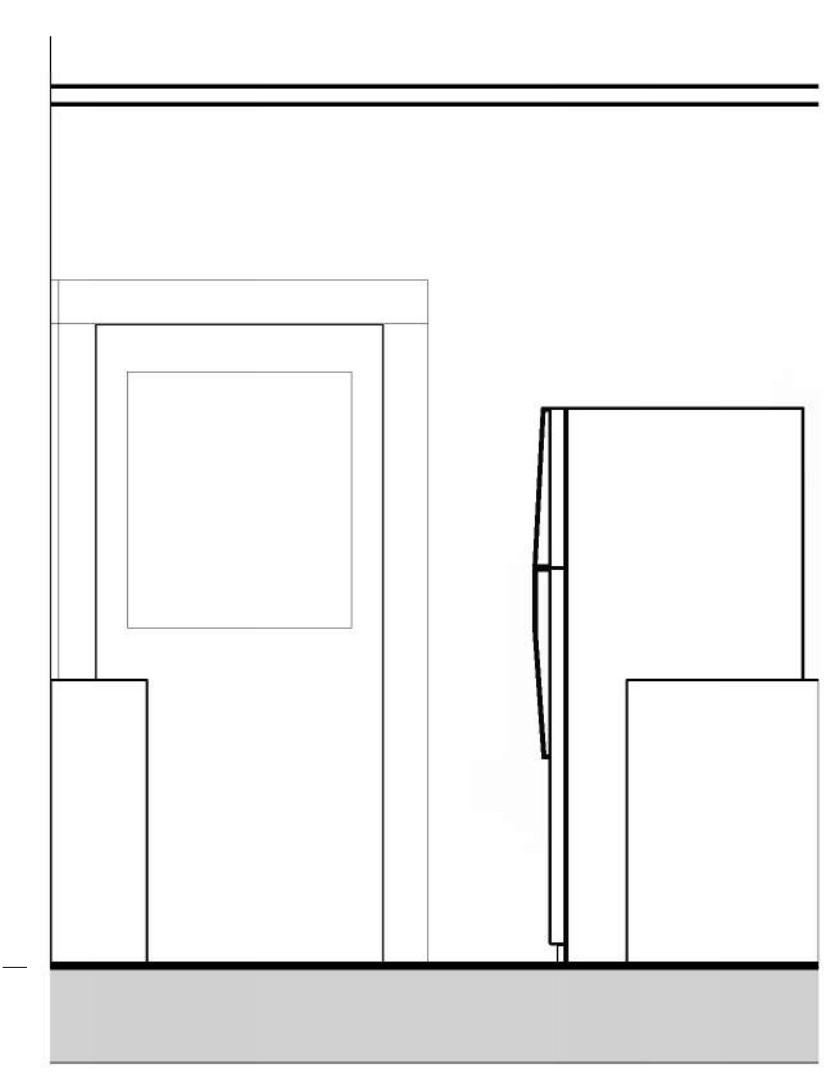
**A104**



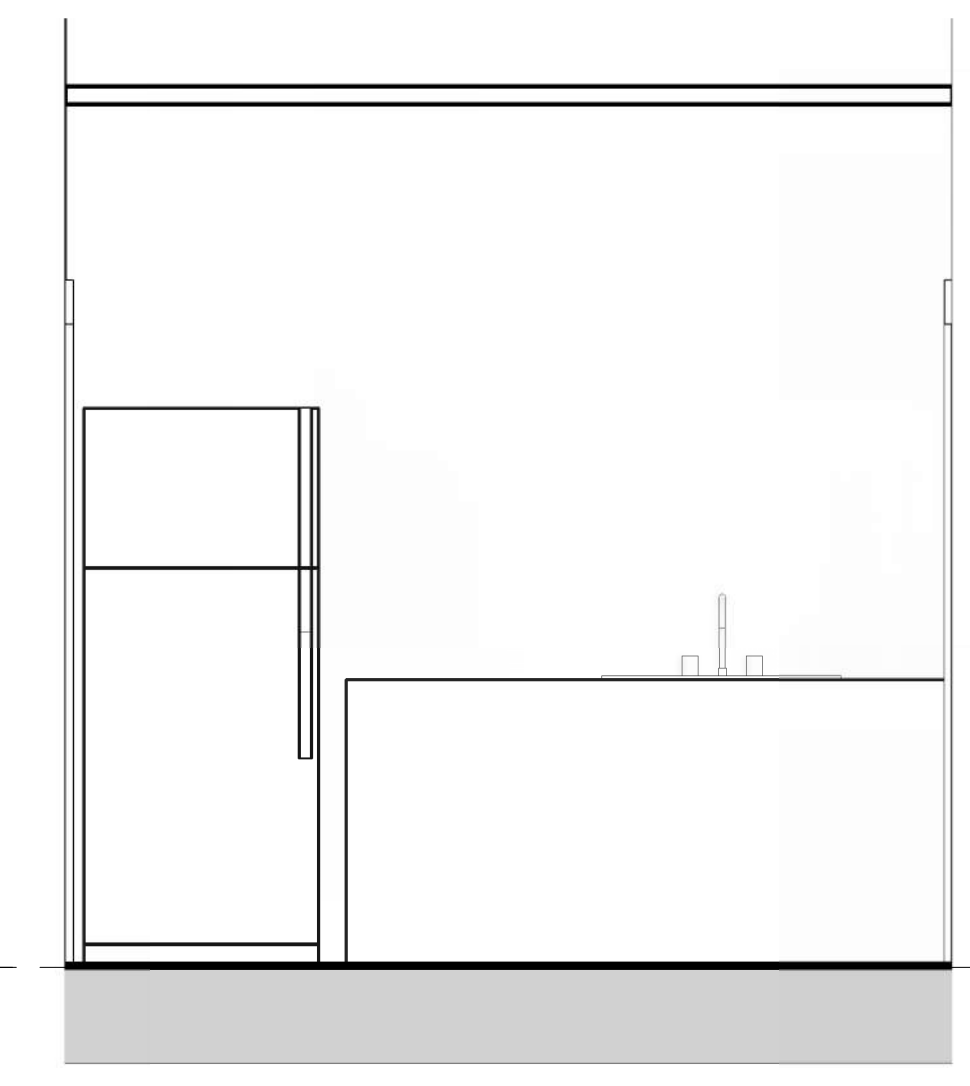
**1 ENLARGED PLAN OF KITCHEN**  
SCALE: 1/2" = 1'-0"



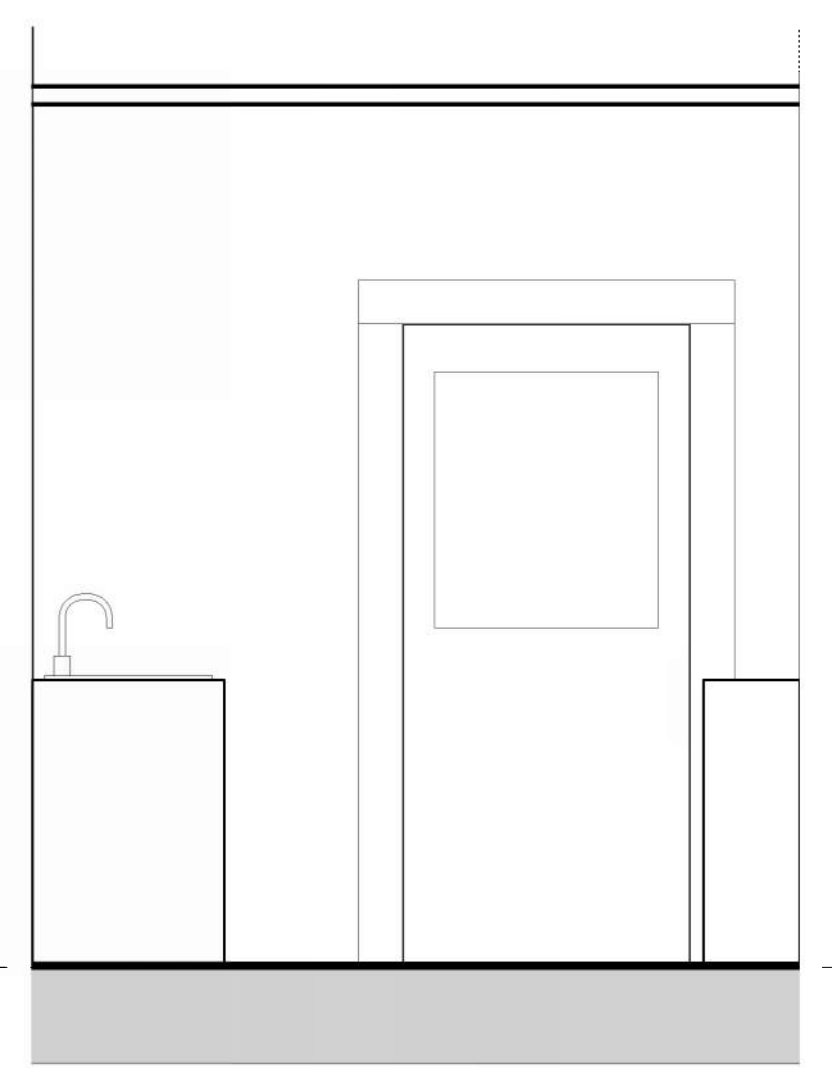
**2 ELEV - INT - K - W**  
SCALE: 1/2" = 1'-0"



**3 ELEV - INT - K - N**  
SCALE: 1/2" = 1'-0"



**5 ELEV - INT - K - E**  
SCALE: 1/2" = 1'-0"



**4 ELEV - INT - K - S**  
SCALE: 1/2" = 1'-0"

LEVEL 1  
100' - 0"

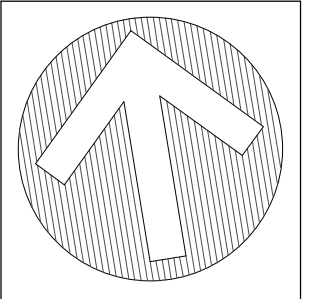
LEVEL 1  
100' - 0"

LEVEL 1  
100' - 0"

LEVEL 1  
100' - 0"

**DD DRAFT SET**  
**2023-06-26**





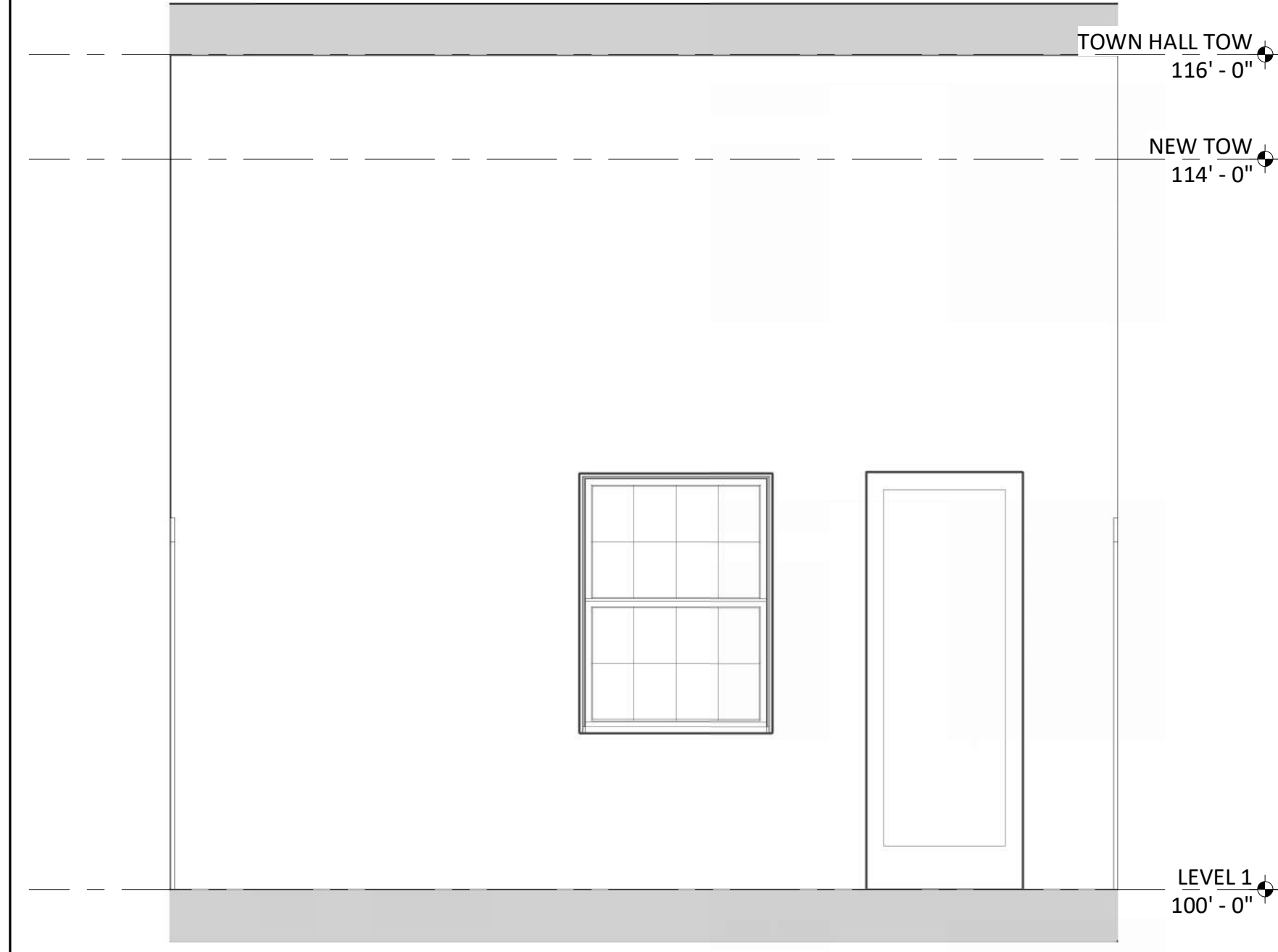
**BARNET TOWN HALL RENOV.**  
BARNET, VERMONT

**BLACK RIVER DESIGN**  
73 MAIN STREET  
MONTPELIER, VERMONT 05602

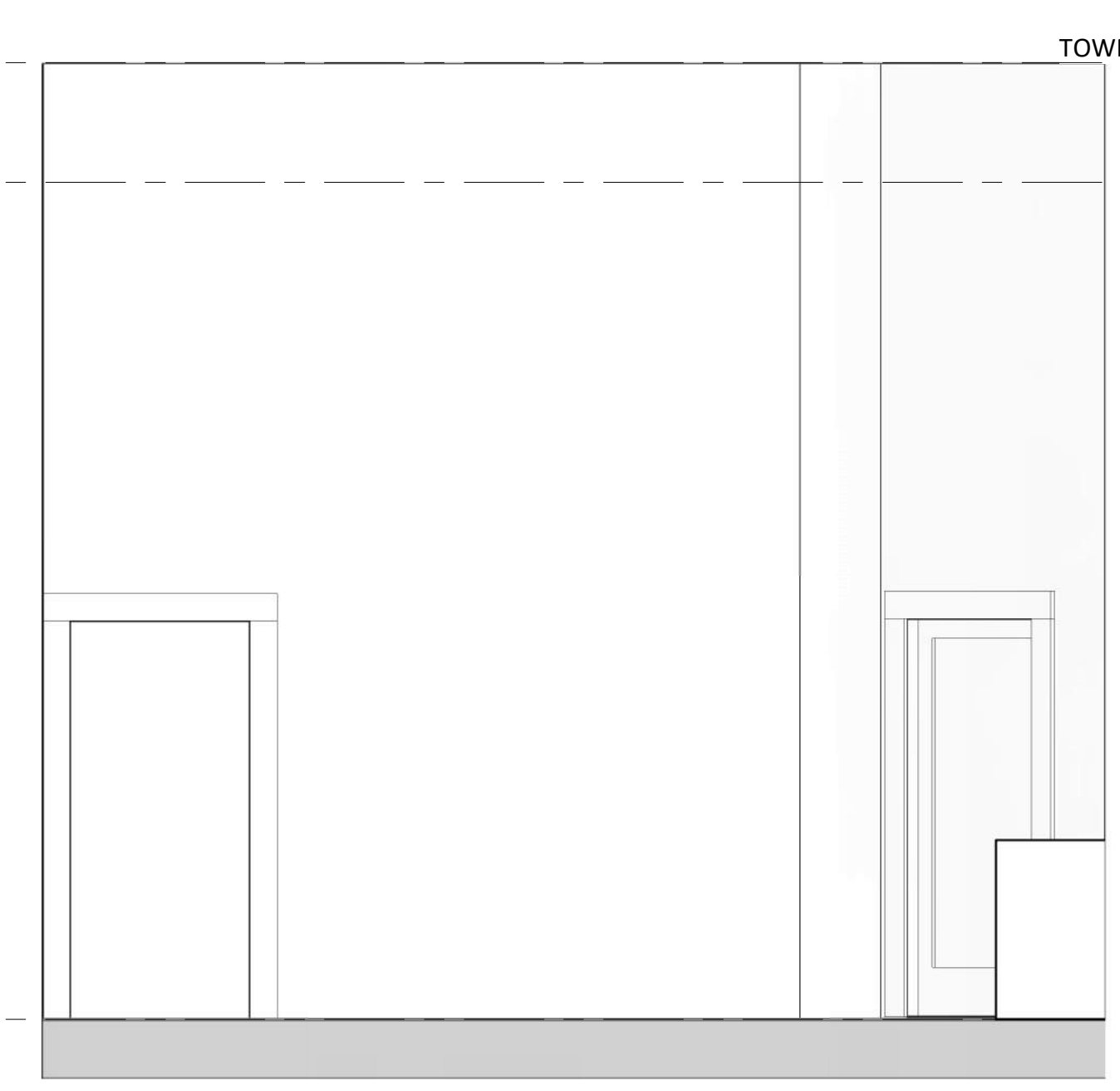
| NO. | REVISIONS |
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ENTRY AREA - PLAN AND ELEVATIONS  
**SCALE**  
 3/8" = 1'-0"  
**DATE**  
 2023-05-17 - DRAFT  
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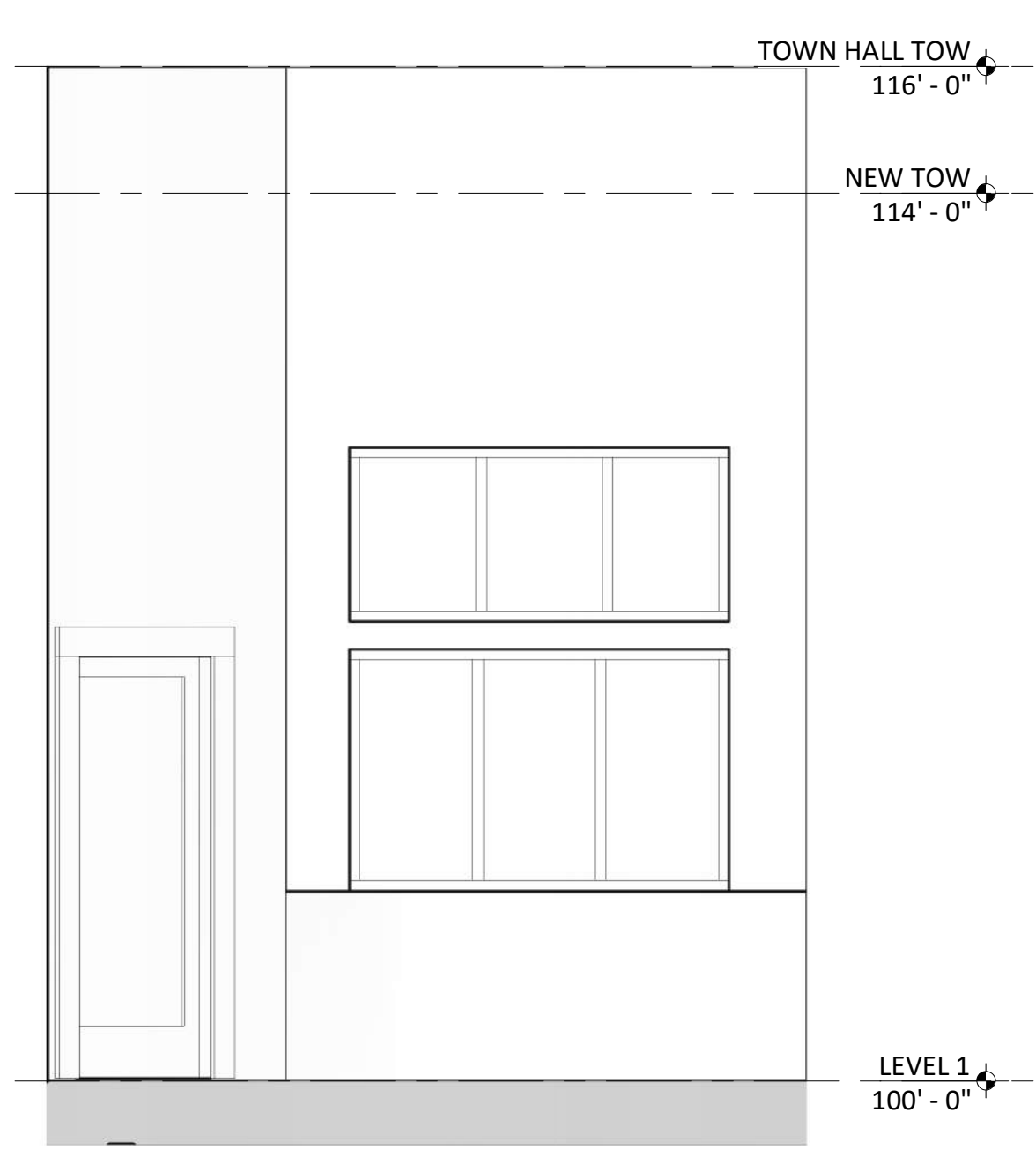
**A105**



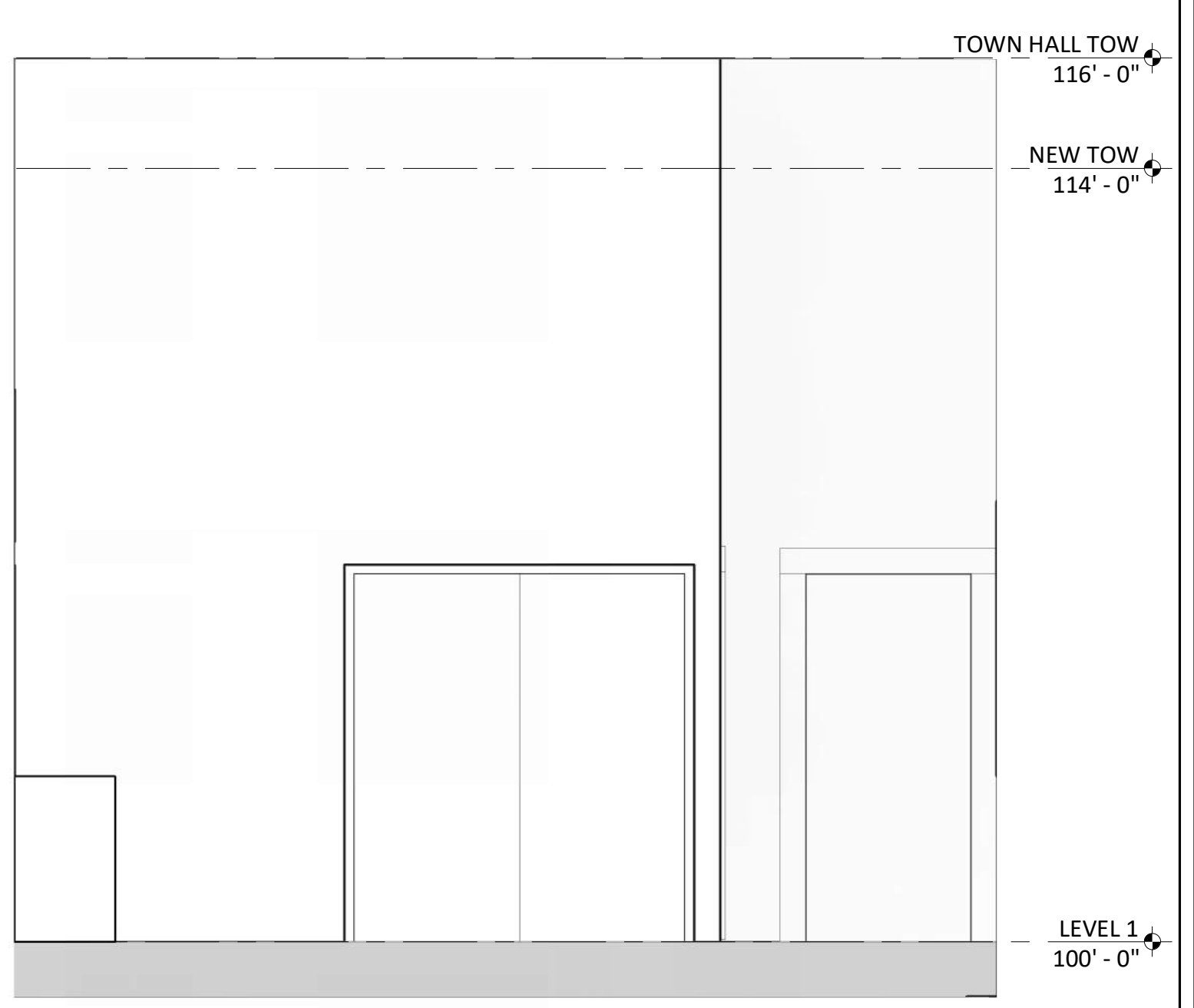
**2** INTERIOR ELEVATION - ENTRY - WEST  
SCALE: 3/8" = 1'-0"



**3** INTERIOR ELEVATION - ENTRY - NORTH  
SCALE: 3/8" = 1'-0"

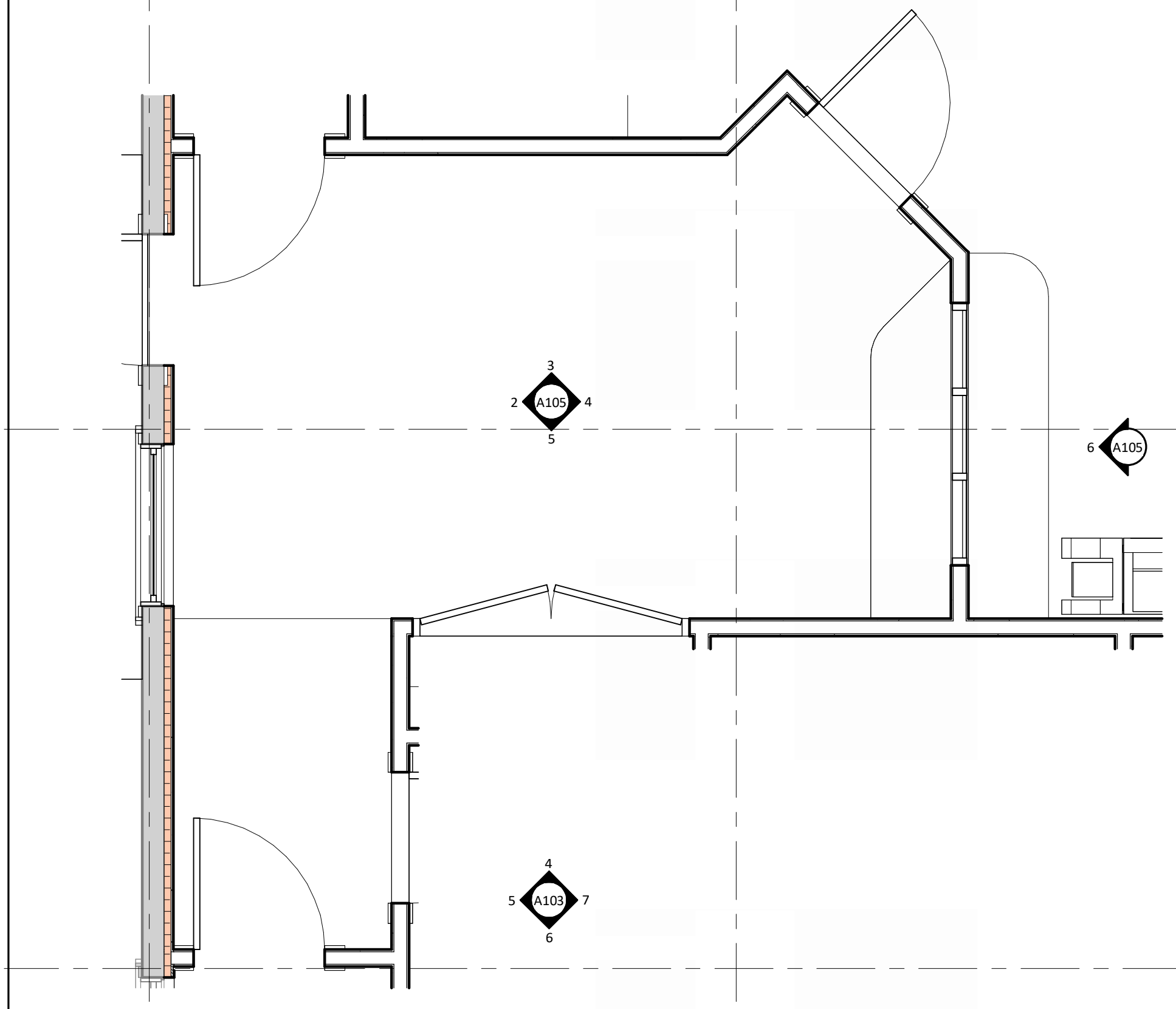


**4** INTERIOR ELEVATION - ENTRY - EAST  
SCALE: 3/8" = 1'-0"

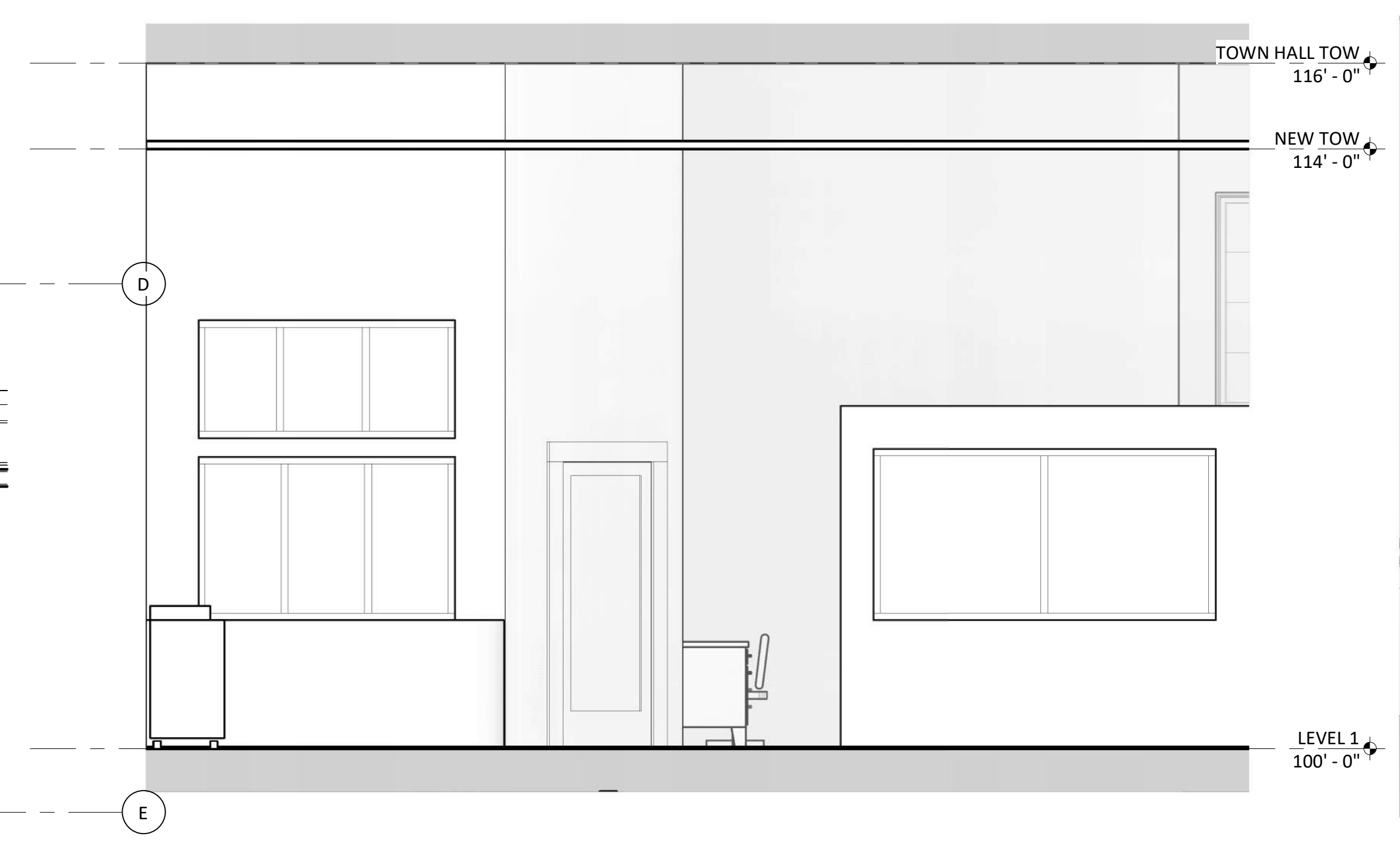


**5** INTERIOR ELEVATION - ENTRY - SOUTH  
SCALE: 3/8" = 1'-0"

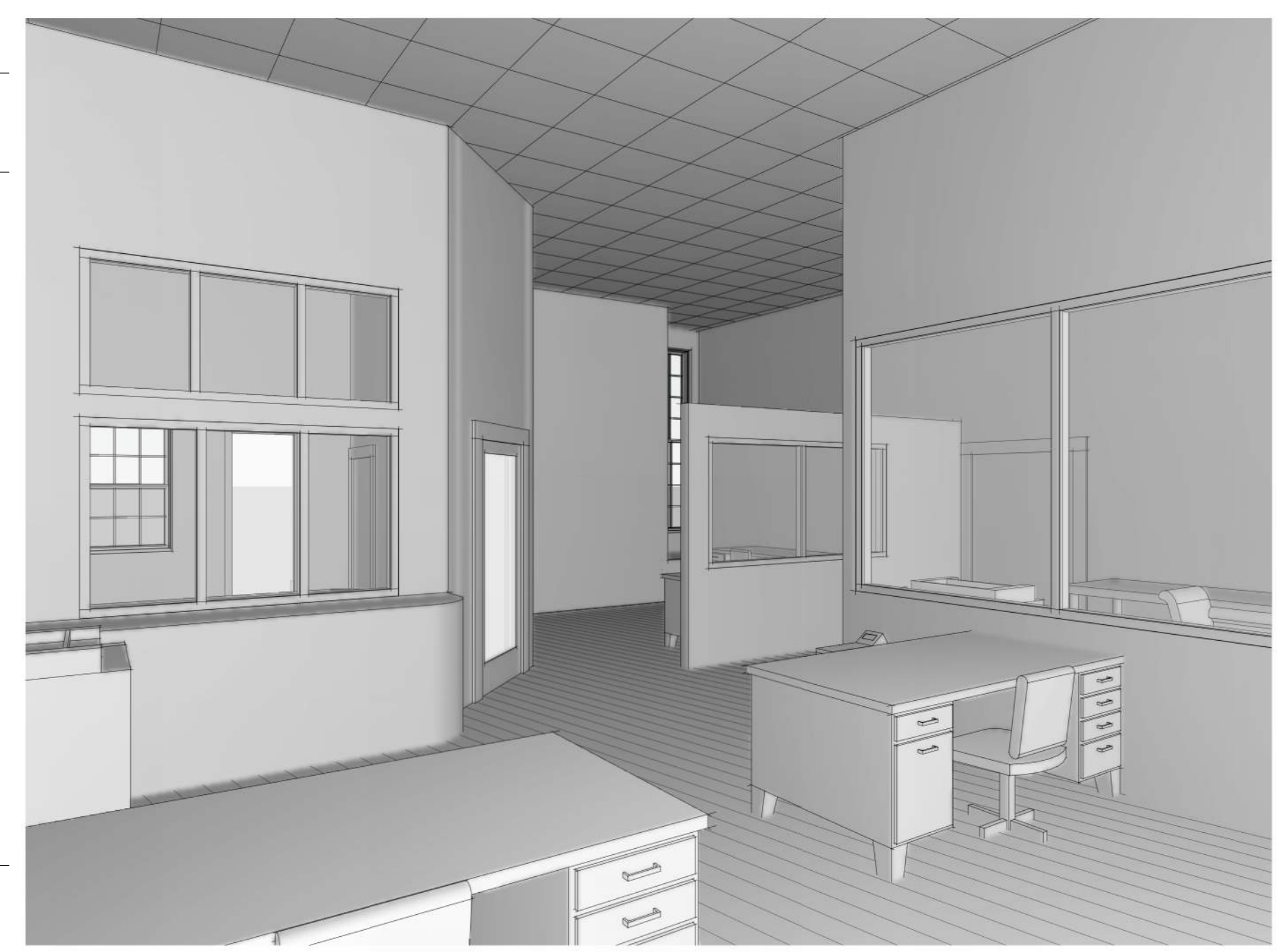
**DD DRAFT SET**  
**2023-06-26**



**1** LEVEL 1 - PLAN EN - ENTRY  
SCALE: 3/8" = 1'-0"

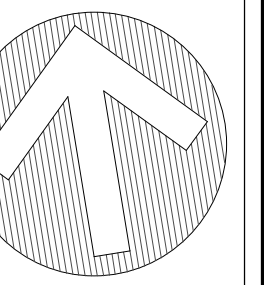


**6** ELEV - INT - CLERK TO ENTRY  
SCALE: 3/8" = 1'-0"



**7** 3D VIEW FROM CLERK TO LISTER  
SCALE:





# BARNET TOWN HALL RENO.

BARNET, VERMONT

**BLACK RIVER DESIGN**  
73 MAIN STREET  
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| NO. | REVISIONS |
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MEETING ROOM -  
PLAN AND ELEVATIONS

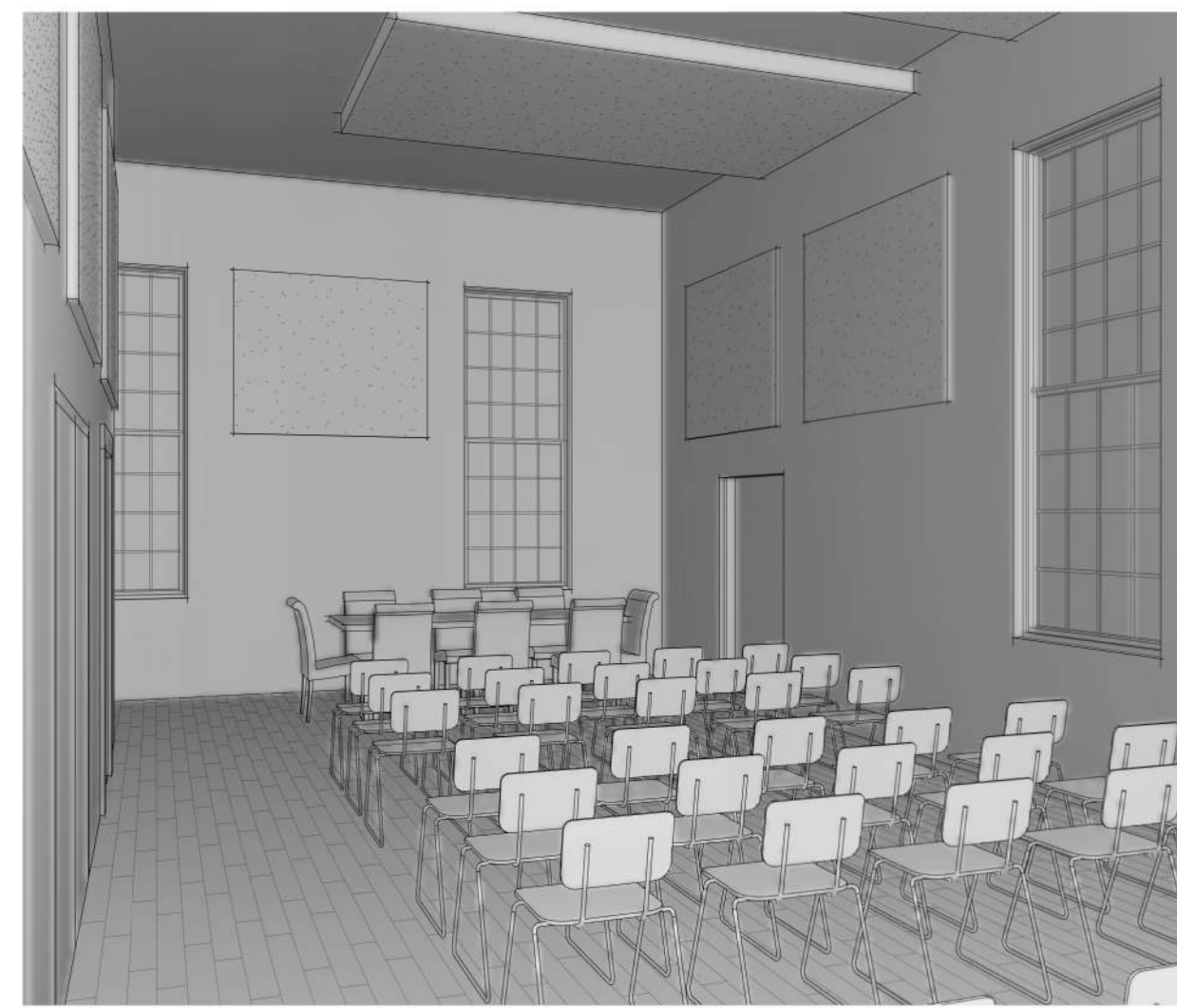
**SCALE**  
1/4" = 1'-0"

**DATE**  
2023-05-17 - DRAFT

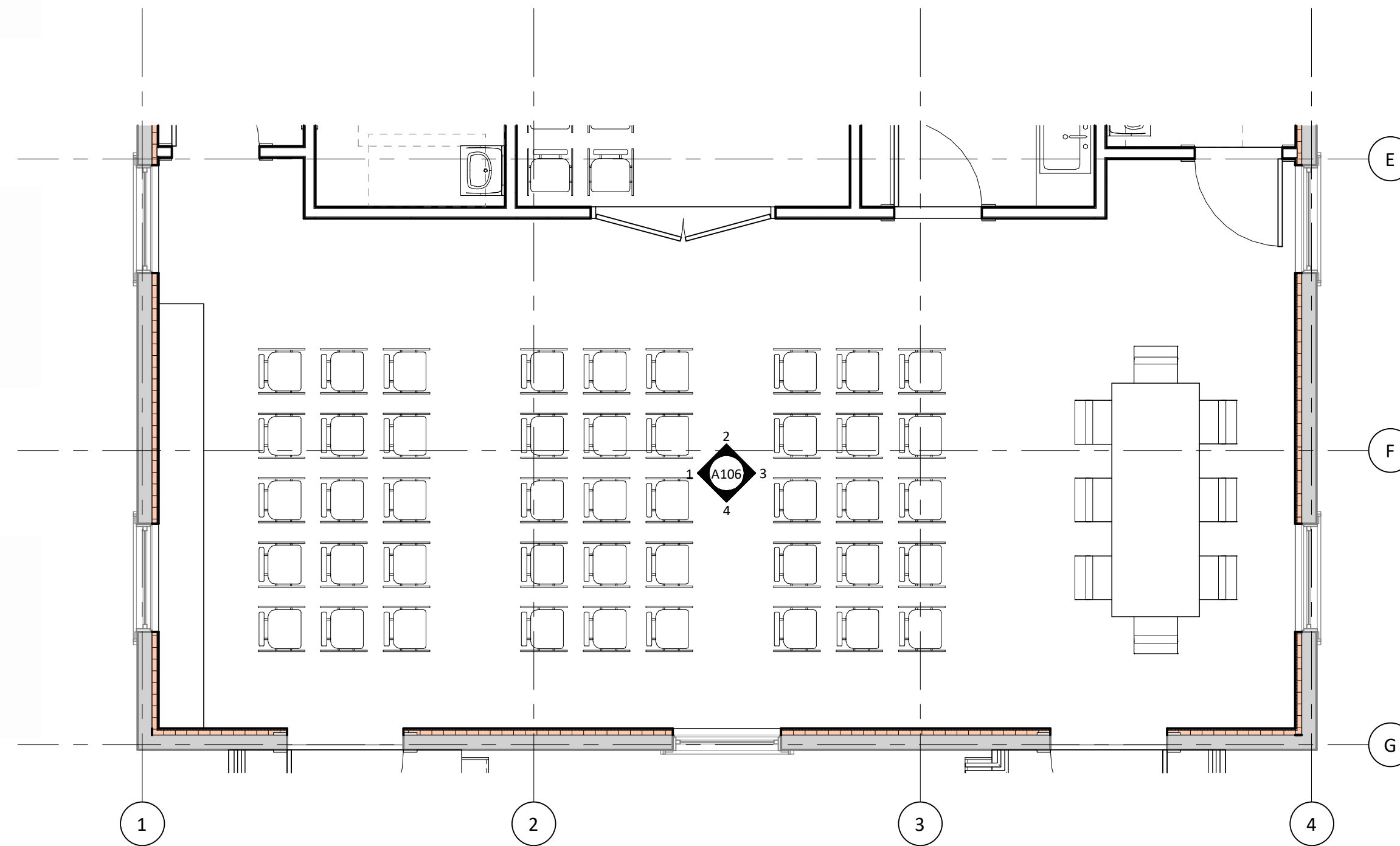
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Author

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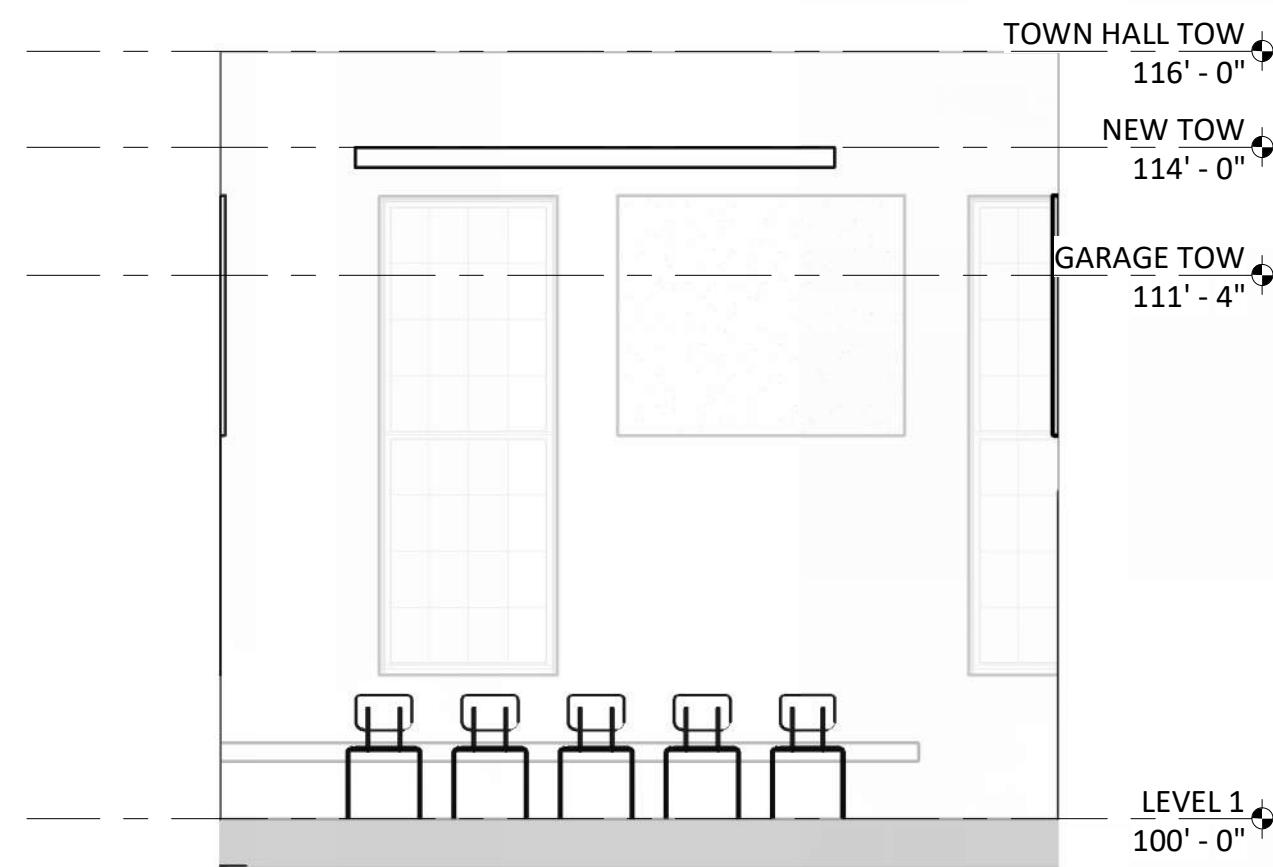
## A106



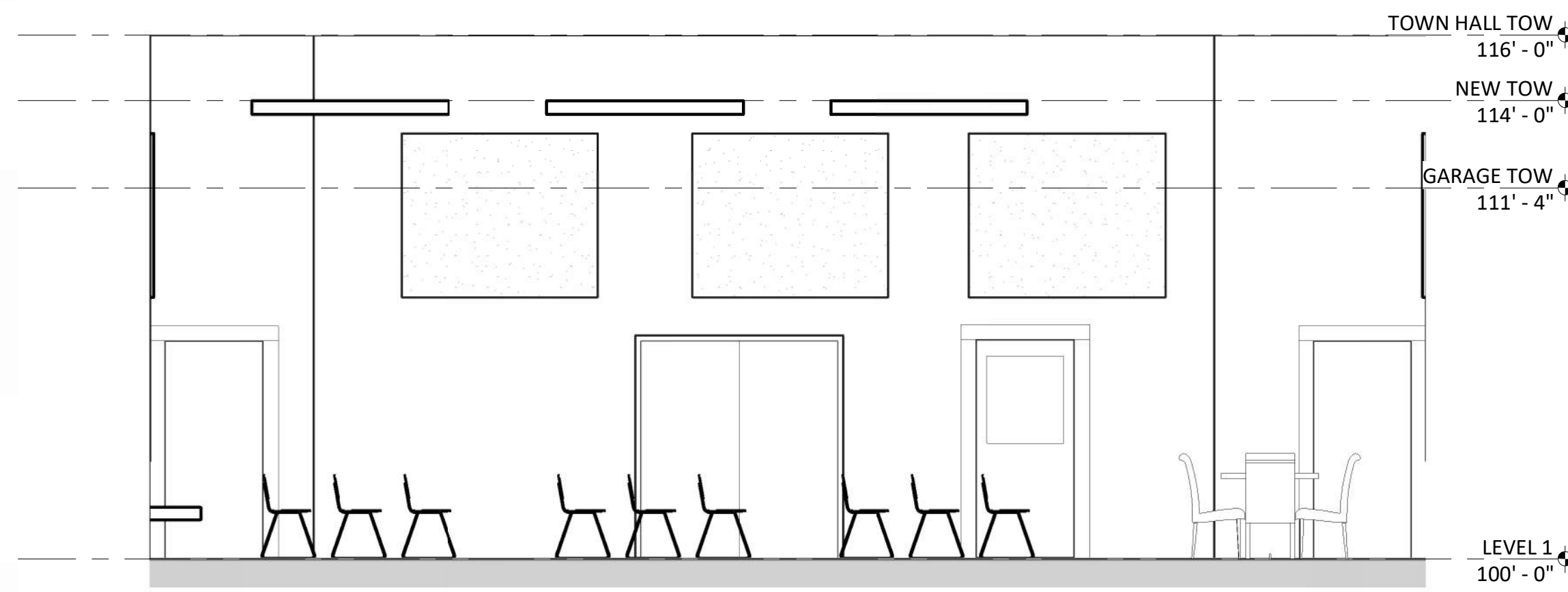
**6 3D VIEW - MEETING ROOM FROM HALLWAY**  
SCALE:



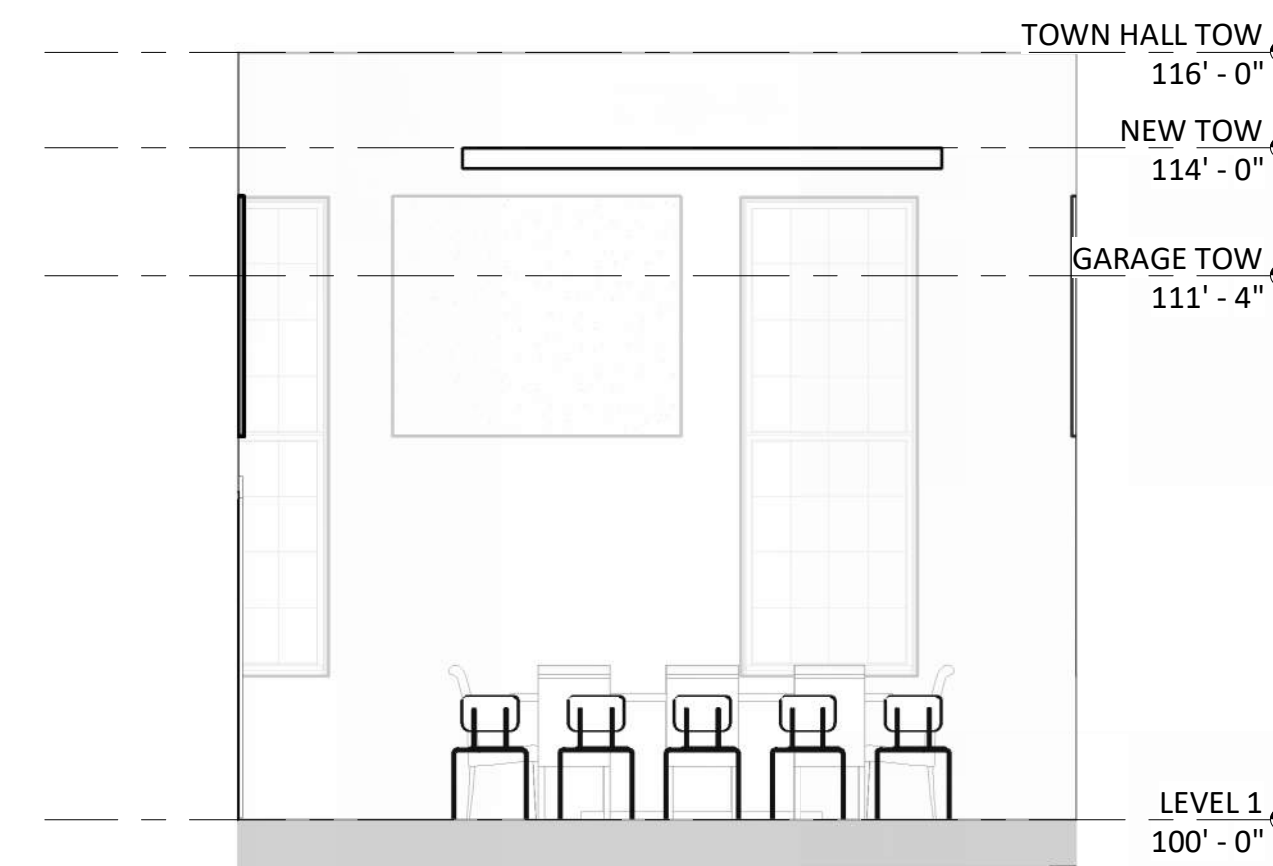
**5 MEETING ROOM**  
SCALE: 1/4" = 1'-0"



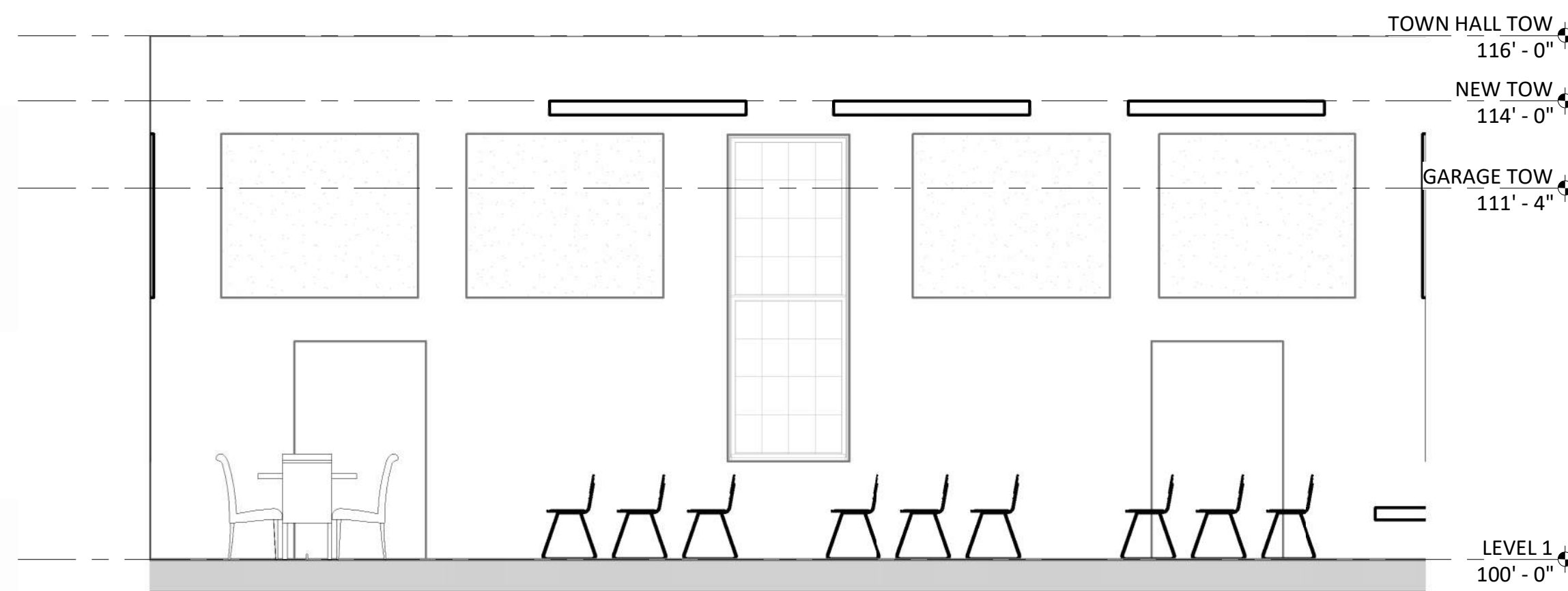
**1 WEST WALL**  
SCALE: 1/4" = 1'-0"



**2 NORTH WALL**  
SCALE: 1/4" = 1'-0"



**3 EAST WALL**  
SCALE: 1/4" = 1'-0"



**4 SOUTH WALL**  
SCALE: 1/4" = 1'-0"

**DD DRAFT SET**  
**2023-06-26**



| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
|     |      |             |
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|-----------------------------------|
| STAIRS                            |
| <b>SCALE</b><br>As indicated      |
| <b>DATE</b><br>2023-05-17 - DRAFT |
| <b>DRAWN BY</b><br>Author         |
| <b>CHECKED BY</b><br>Checker      |

**A107**

**BASEMENT STAIRS**

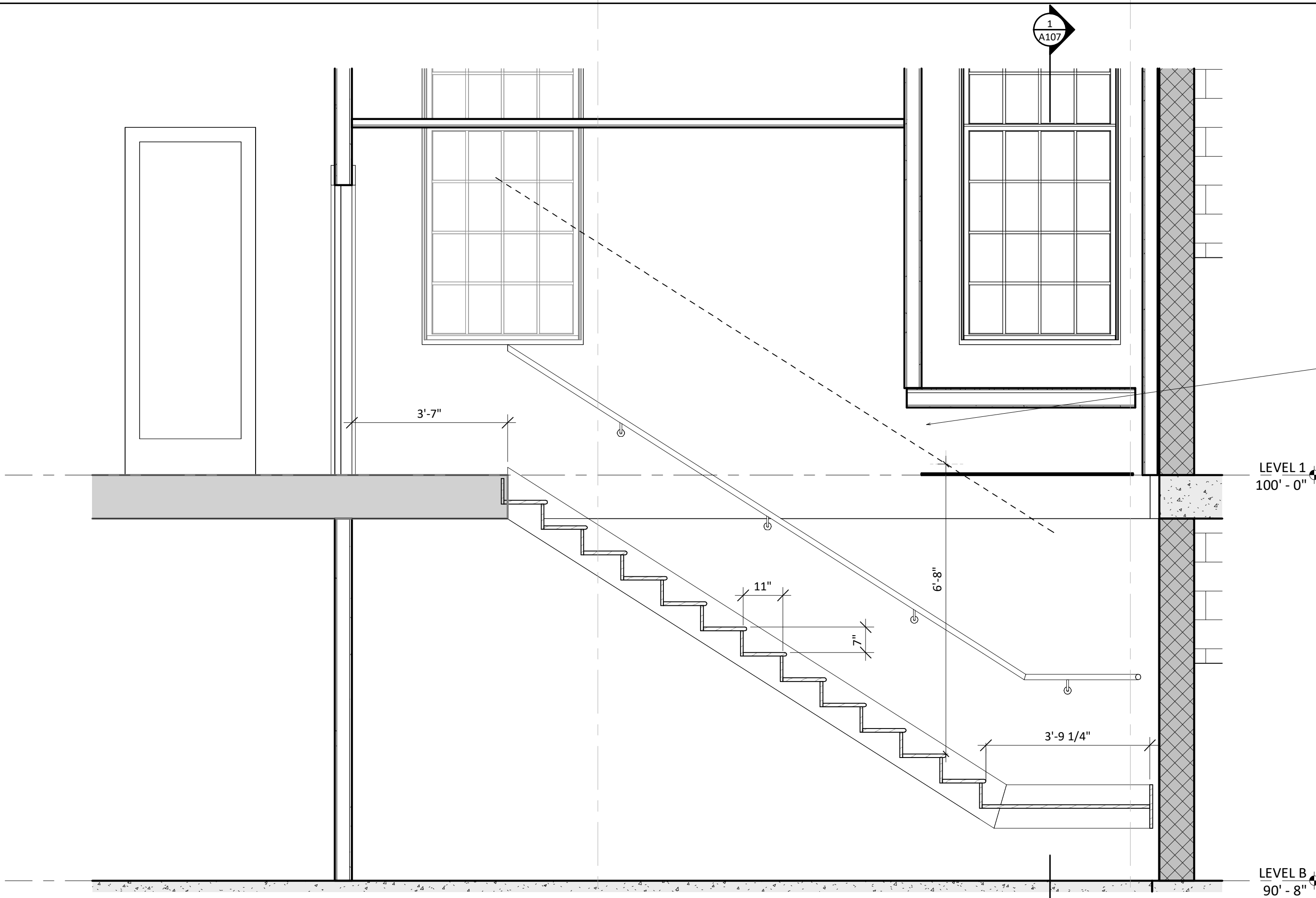
**STAIR NOTES**

**STAIR 1 - BASEMENT TO LEVEL 1**  
FLOOR TO FLOOR HEIGHT = 9'-4" = 112"  
RISER HEIGHT = 7"  
NUMBER OF RISERS = 16  
TREAD LENGTH = 11"  
NUMBER OF TREADS = 15  
TOTAL RUN OF TREADS = 165" = 13'-9"  
CONSTRUCTION  
STRINGERS = 2X TIMBER  
TREADS = WOOD, BULL NOSE, 1" OVERHANG  
RISERS = CLOSED WOOD  
FINISH = PAINTED  
TREAD FINISH = RUBBER WEAR TREADS WITH NOSINGS

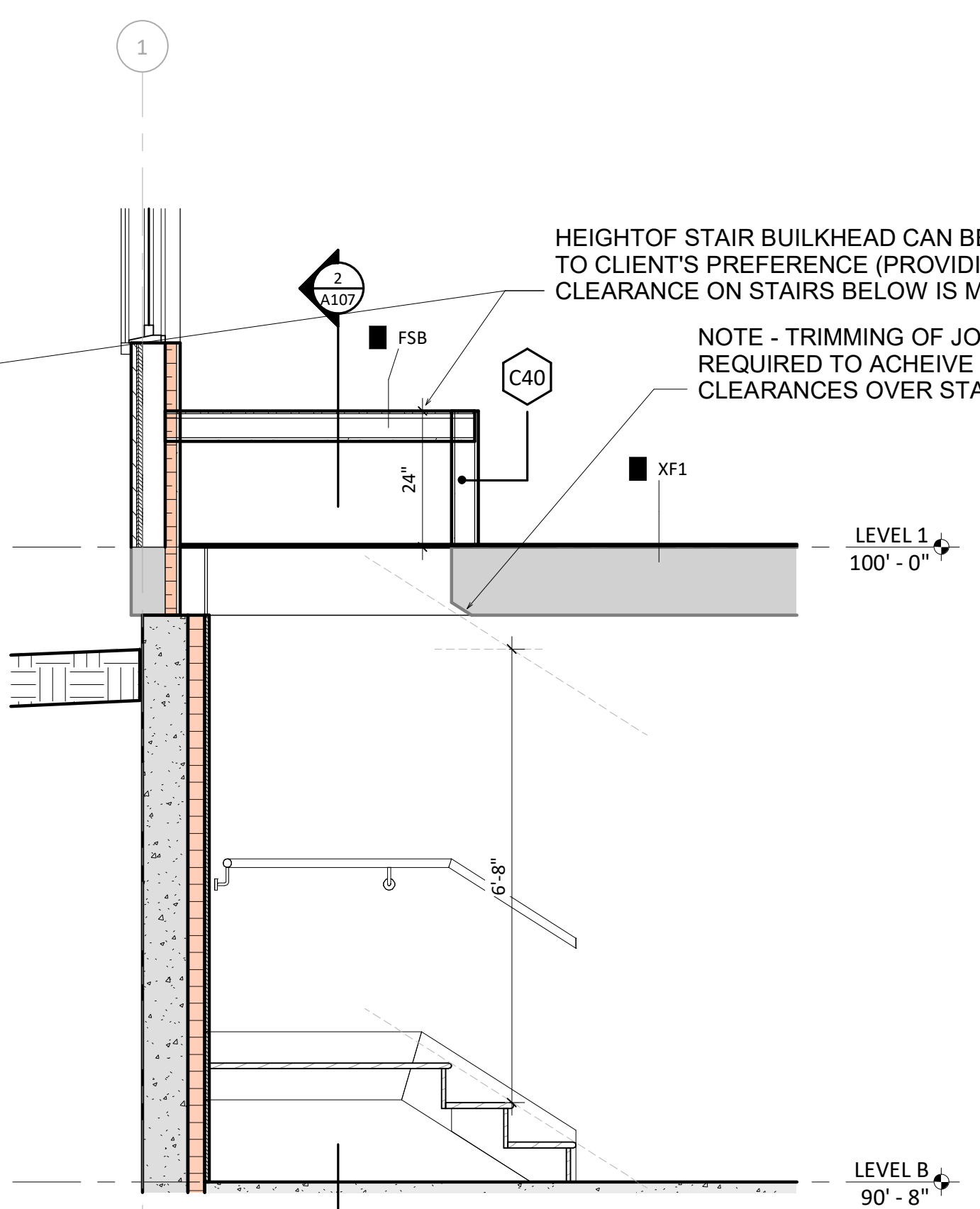
**STAIR 2 - GROUND TO FRONT LANDING**  
FLOOR TO FLOOR HEIGHT = 21"  
RISER HEIGHT = 7"  
NUMBER OF RISERS = 3  
TREAD LENGTH = 11"  
NUMBER OF TREADS = 2  
TOTAL RUN OF TREADS = 22"  
CONSTRUCTION  
STRINGERS = 2X PT TIMBER  
TREADS = PT WOOD, BULL NOSE, 1" OVERHANG  
RISERS = CLOSED PT WOOD  
FINISH = PAINTED  
TREAD FINISH = STEEL GRIPER WEAR PLATES

HEIGHT OF STAIR BULKHEAD CAN BE ADJUSTED TO CLIENT'S PREFERENCE (PROVIDING 6'-8" CLEARANCE ON STAIRS BELOW IS MAINTAINED)

NOTE - TRIMMING OF JOISTS WILL BE REQUIRED TO ACHIEVE HEADROOM CLEARANCES OVER STAIRS

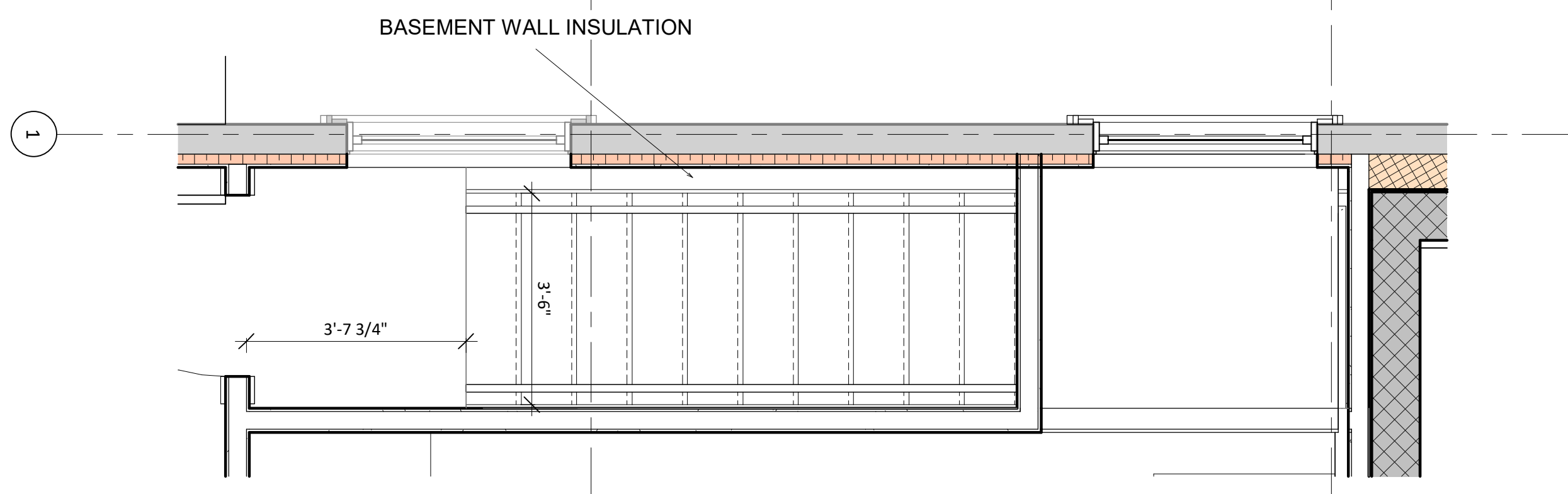


**2 SX THRU STAIRS NS**  
SCALE: 1/2" = 1'-0"

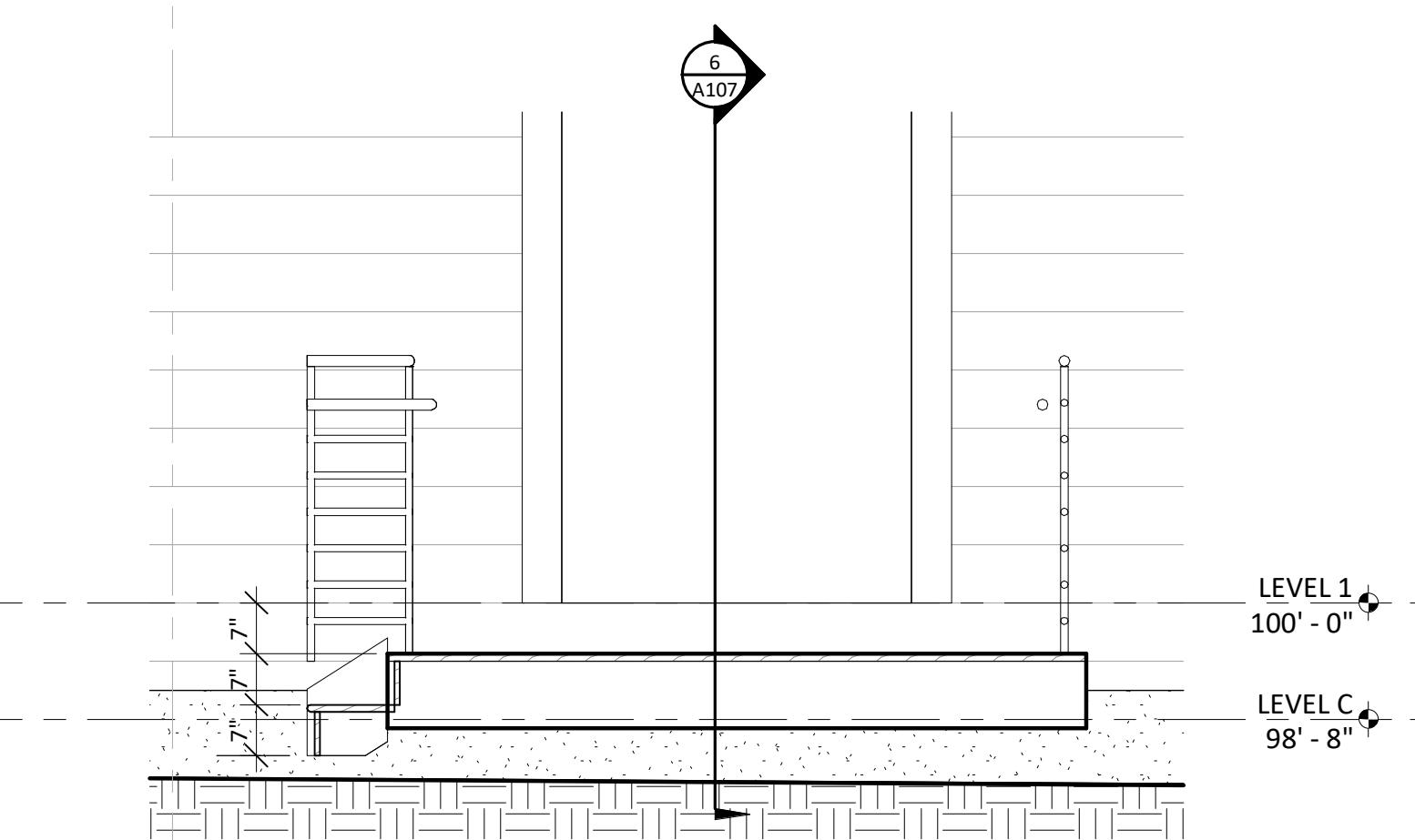
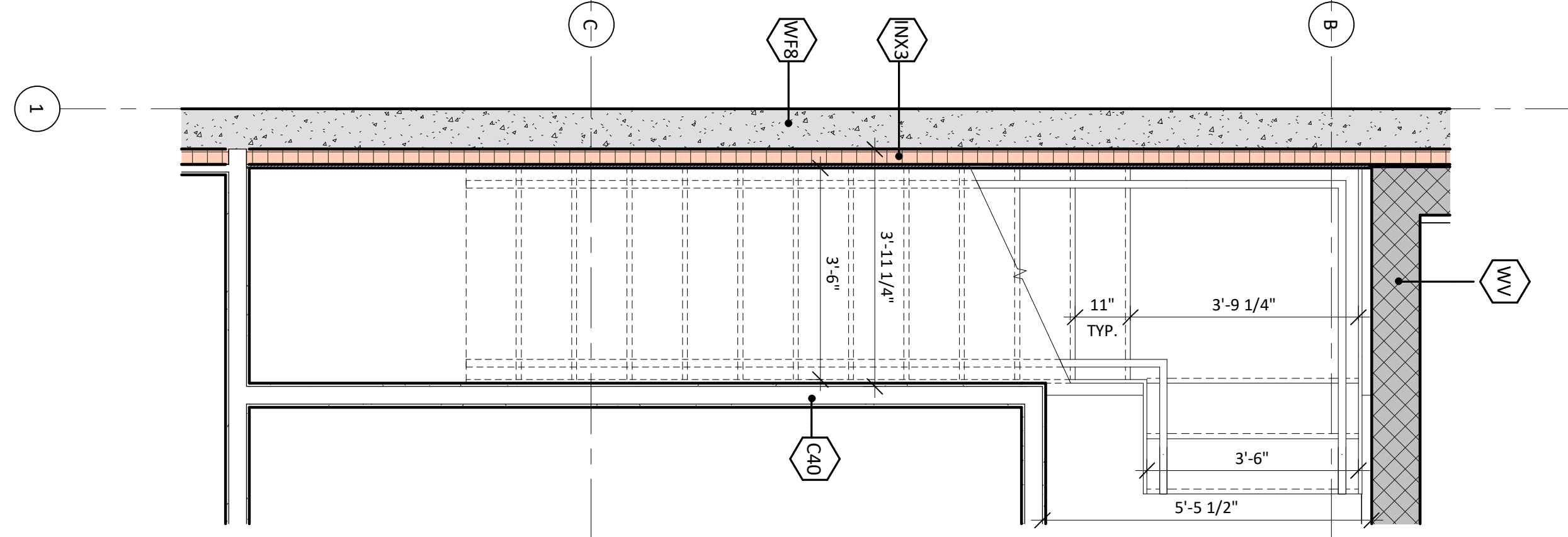


**1 SX THRU STAIRS EW**  
SCALE: 1/2" = 1'-0"

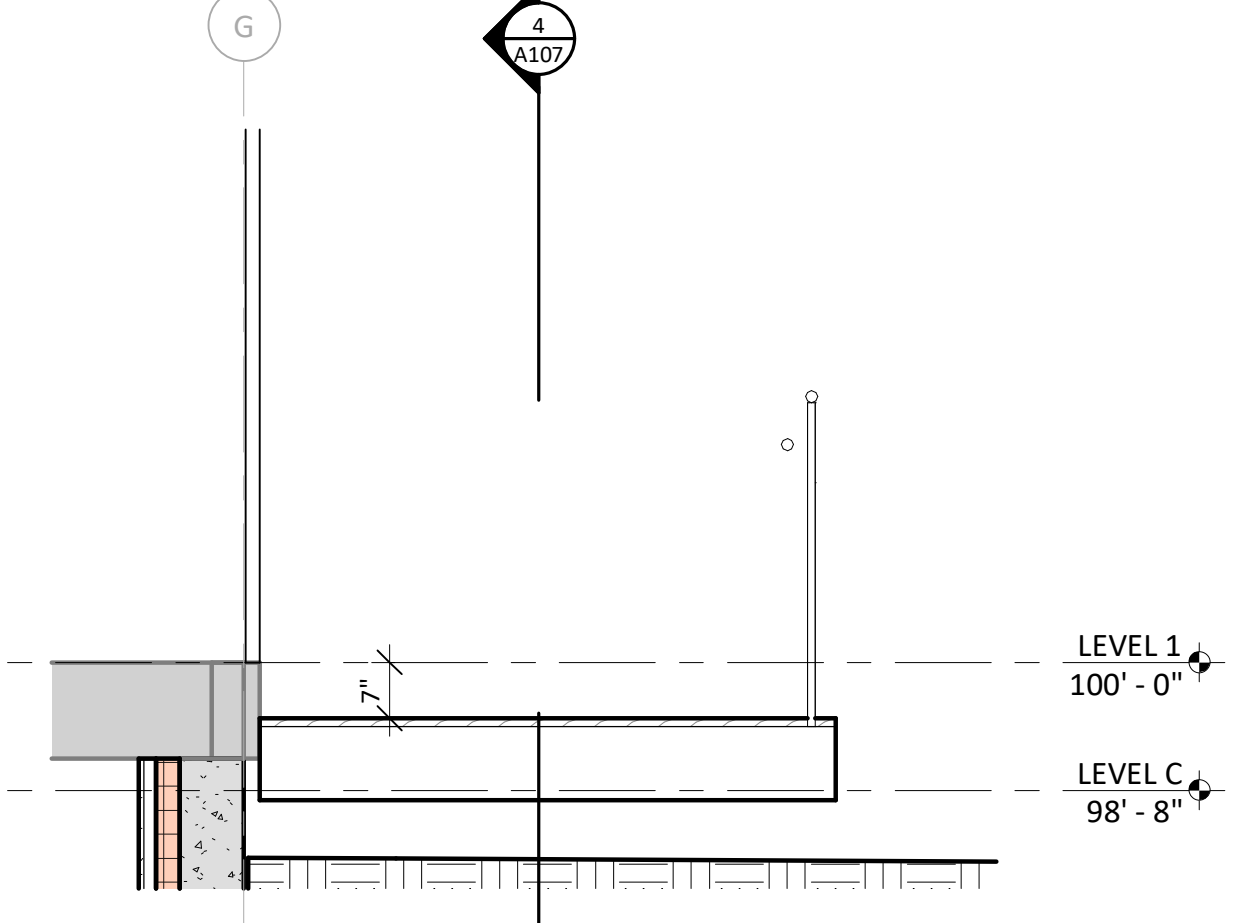
**LEVEL 1 - PLAN - STAIRS**  
SCALE: 1/2" = 1'-0"



**BASEMENT - STAIRS**  
SCALE: 1/2" = 1'-0"

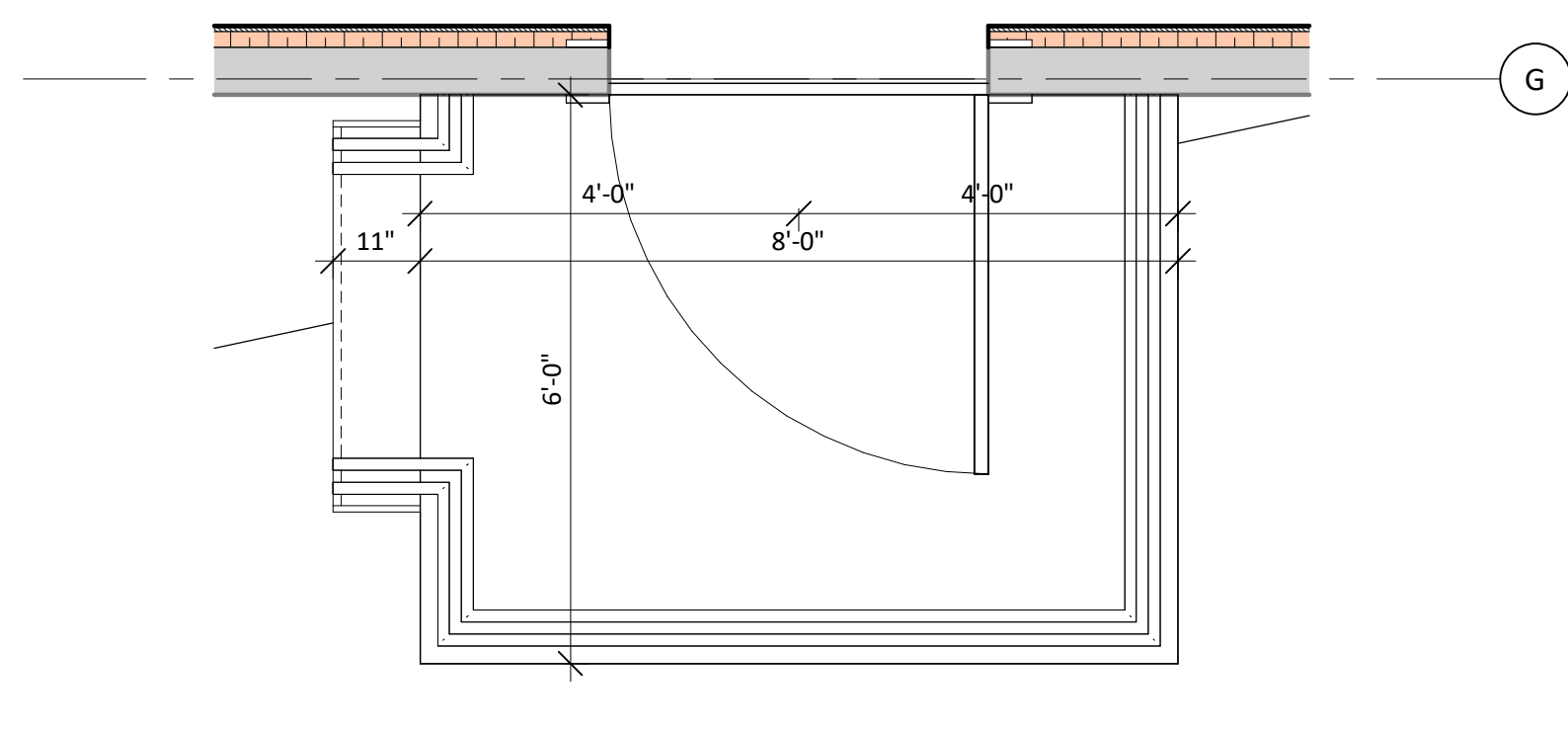


**4 SX THRU FRONT STEPS**  
SCALE: 1/2" = 1'-0"



**6 SECTNRU FRONT DOOR**  
SCALE: 1/2" = 1'-0"

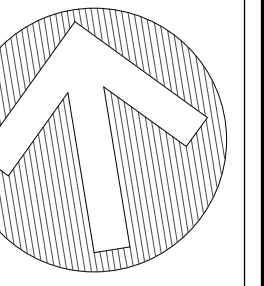
**FRONT PORCH AND STEPS**



**5 LEVEL 1 - FRONT STOOP**  
SCALE: 1/2" = 1'-0"

**DD DRAFT SET**  
**2023-06-26**





**BARNET TOWN HALL RENO.**  
BARNET, VERMONT



**REVISIONS**

| NO. | DATE | DESCRIPTION |
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**REFLECTED CEILING PLANS**

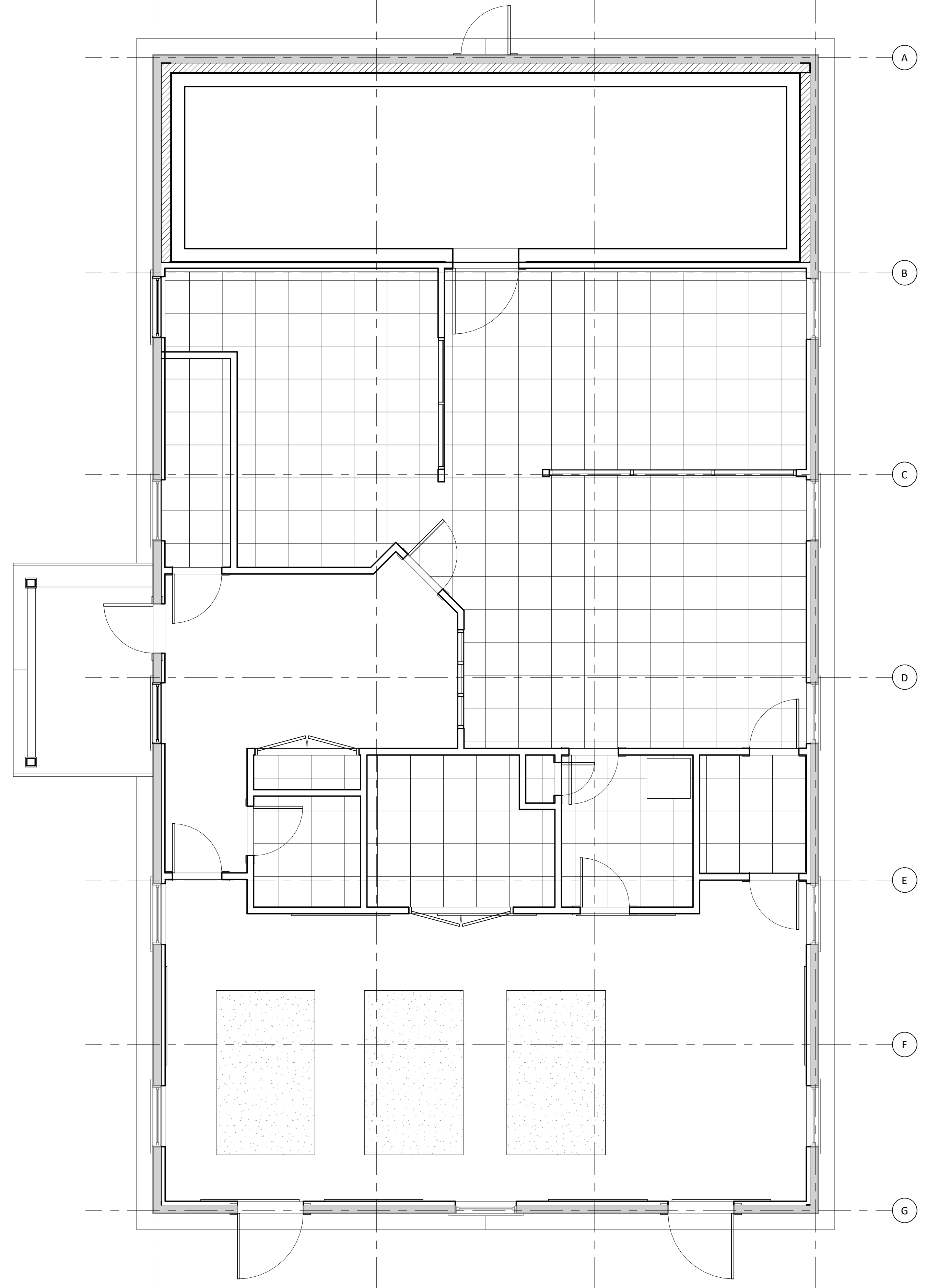
**SCALE**  
1/4" = 1'-0"

**DATE**  
2023-05-17 - DRAFT

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Author

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**A201**

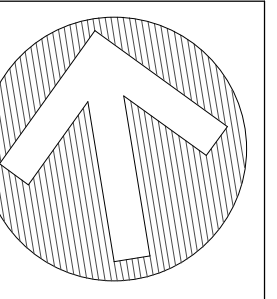


**1** LEVEL 1 REFLECTED CEILING PLAN  
SCALE: 1/4" = 1'-0"

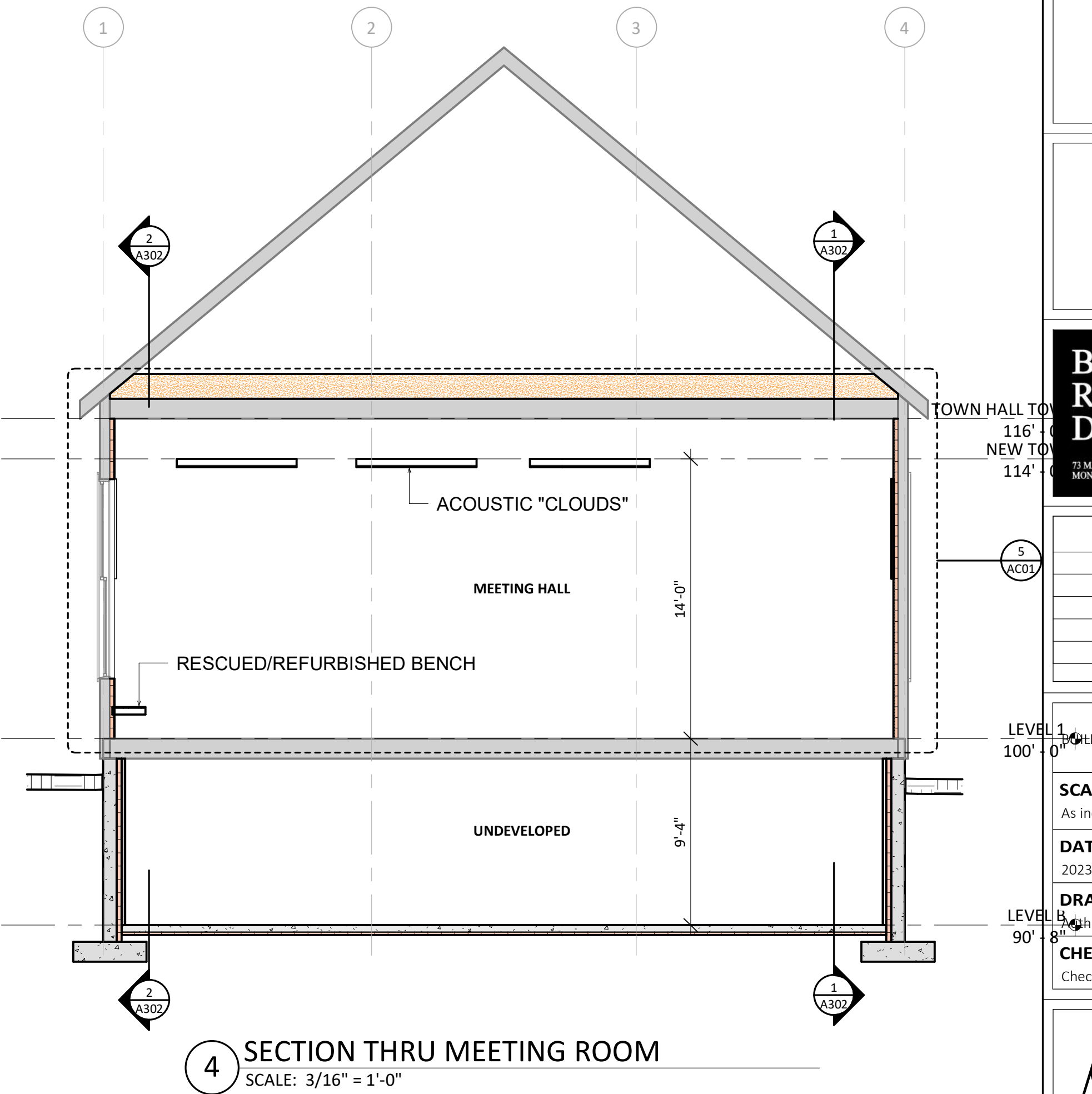
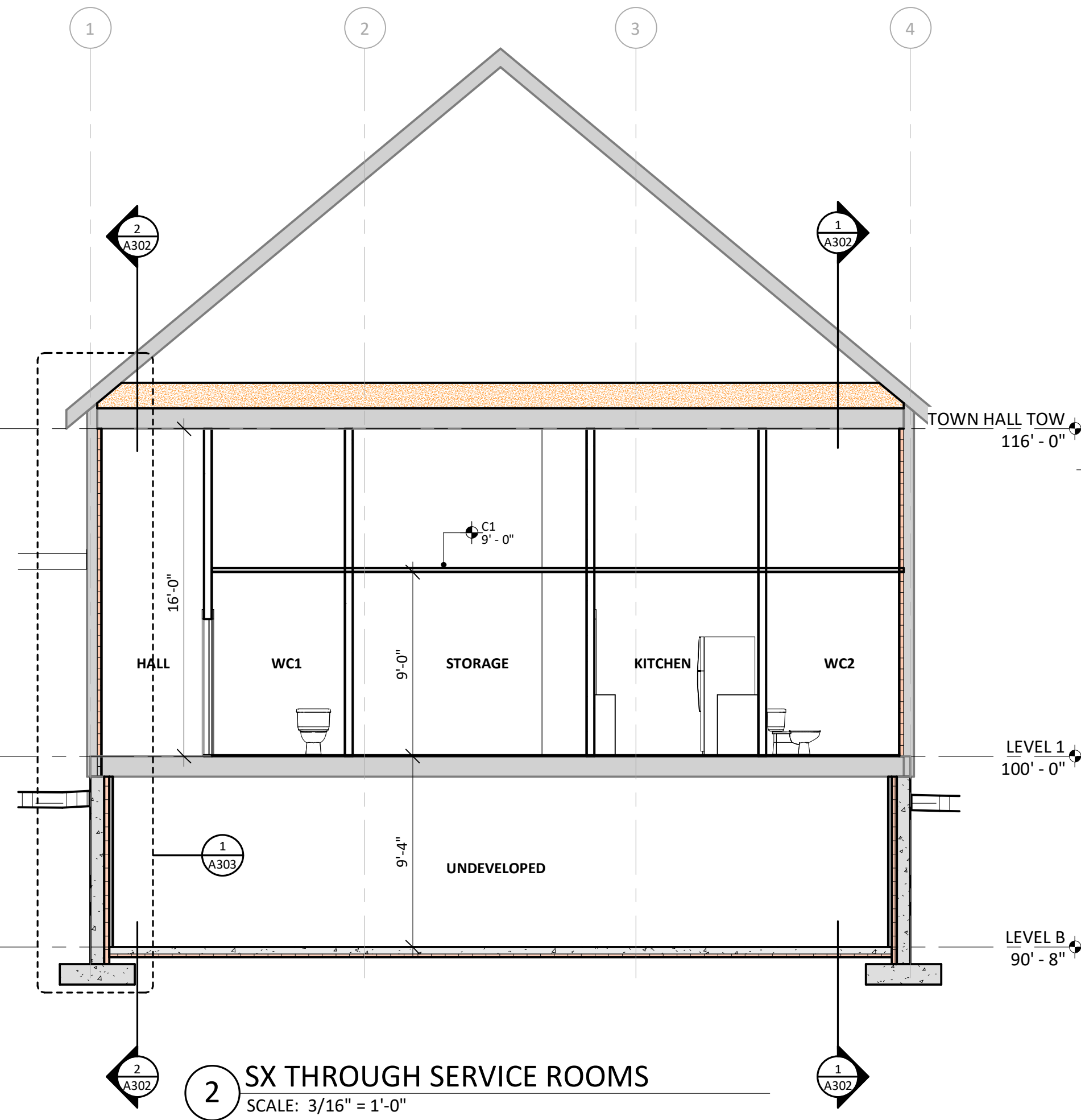
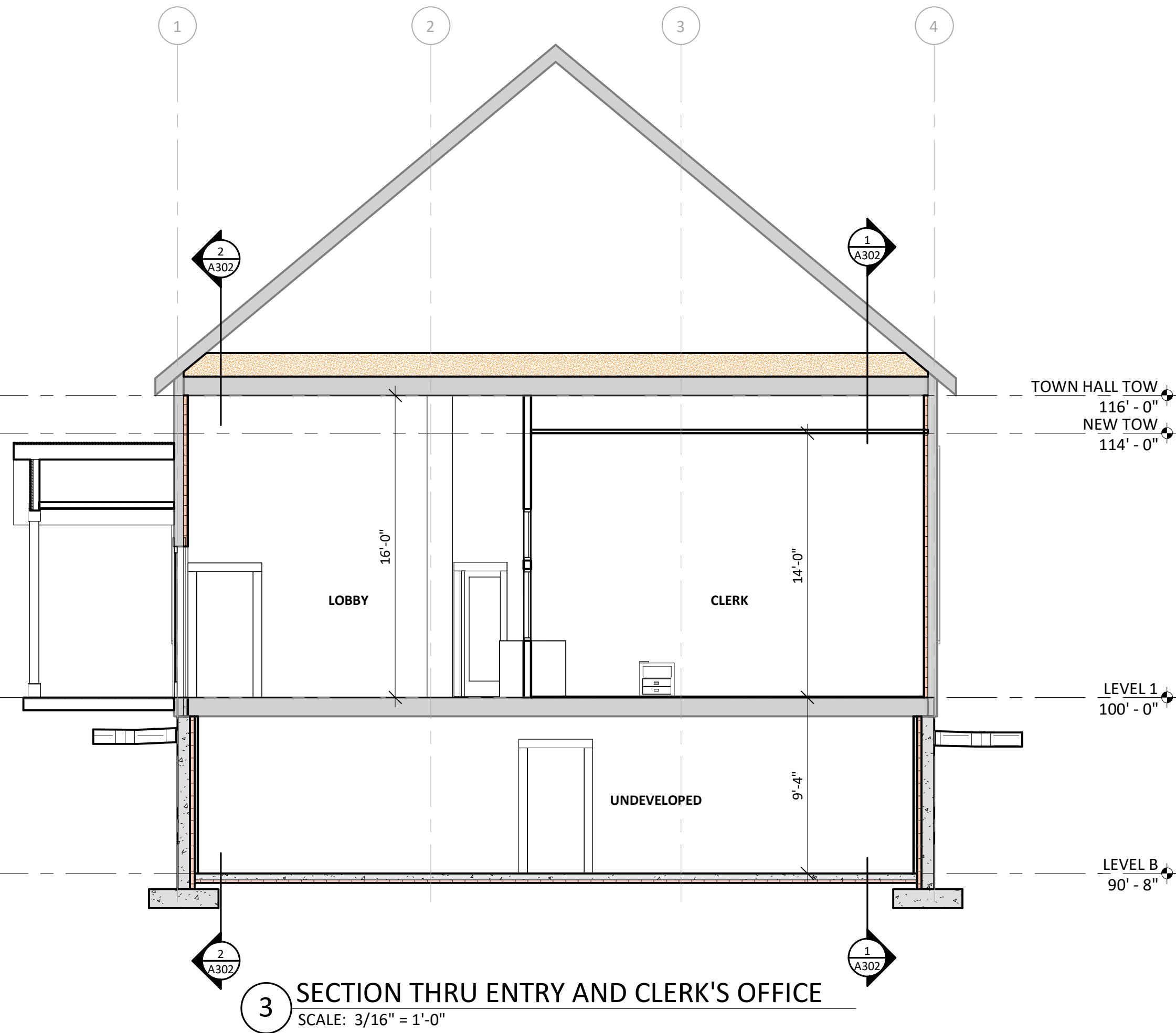
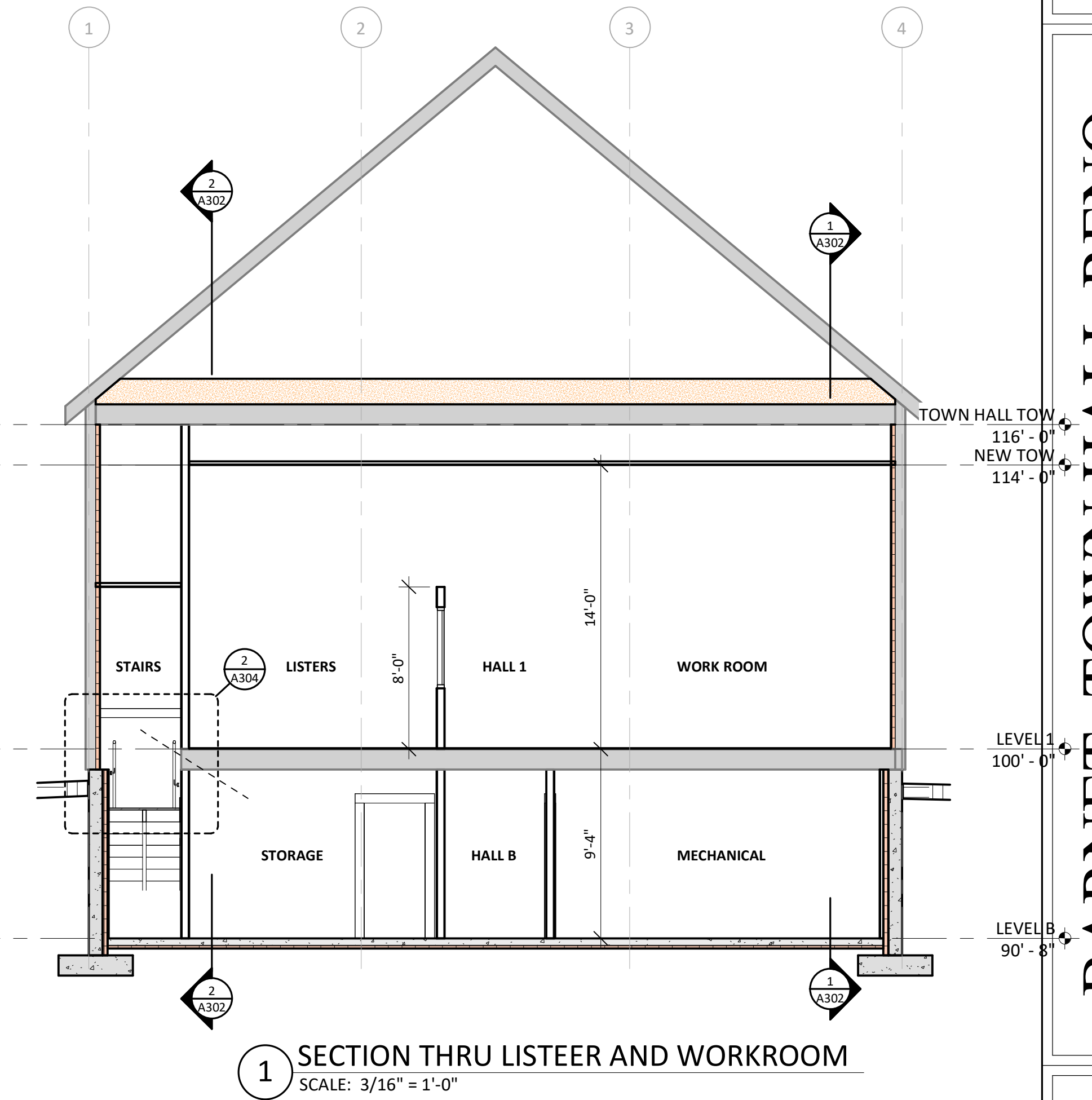
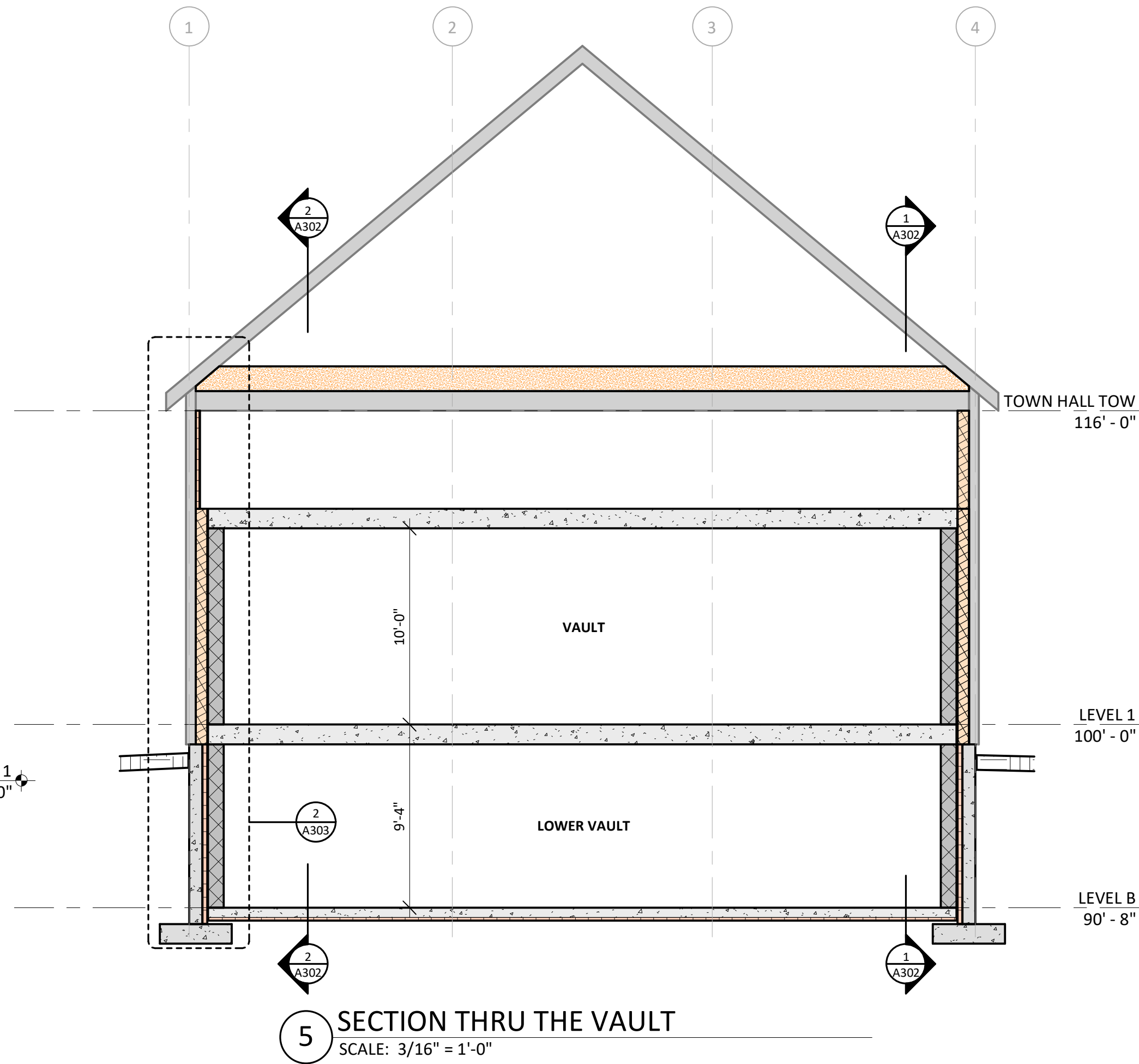
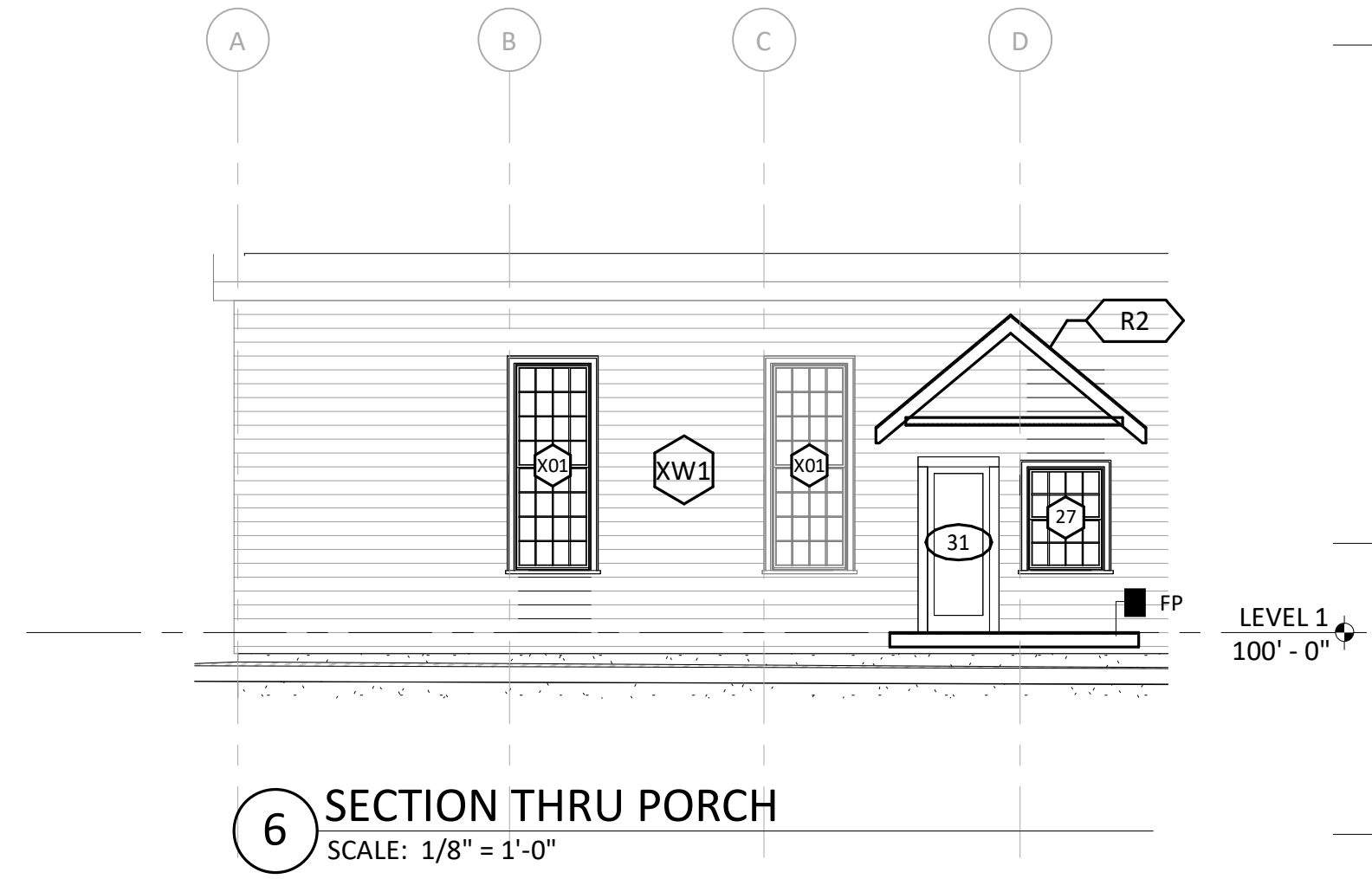
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**2023-06-26**



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2023-06-26



**BARNET TOWN HALL RENO.**  
BARNET, VERMONT



**BLACK RIVER DESIGN**  
73 MAIN STREET  
MONTPELIER, VERMONT 05602

| REVISIONS |  |
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**SCALE**  
As indicated

**DATE**  
2023-05-17 - DRAFT

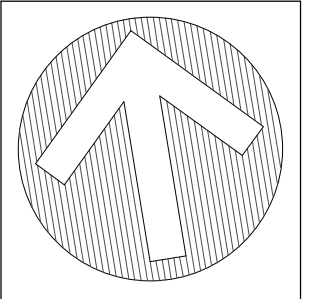
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**A301**

6/26/2023 2:52:46 PM





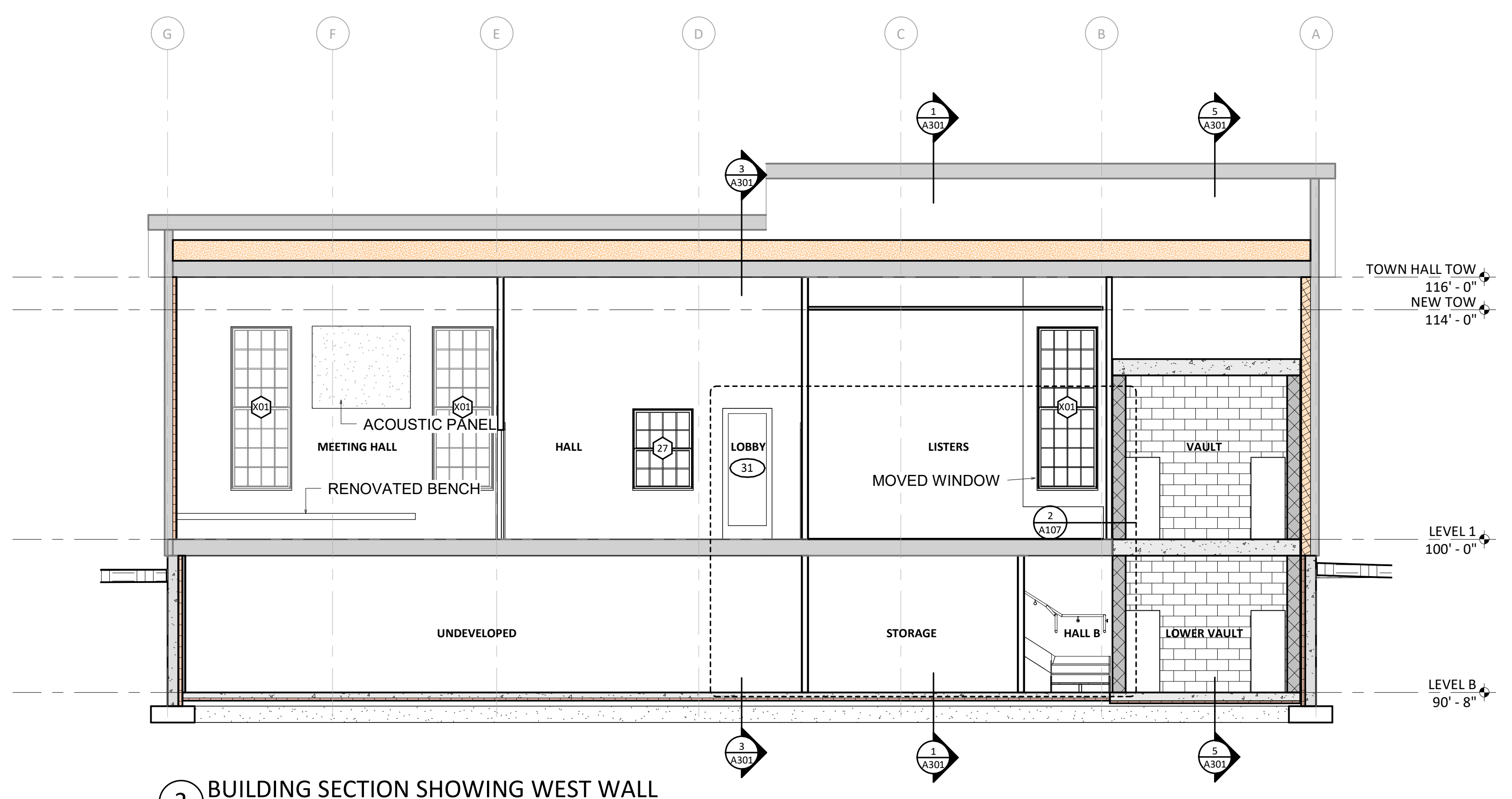
**BARNET TOWN HALL RENO.**  
BARNET, VERMONT



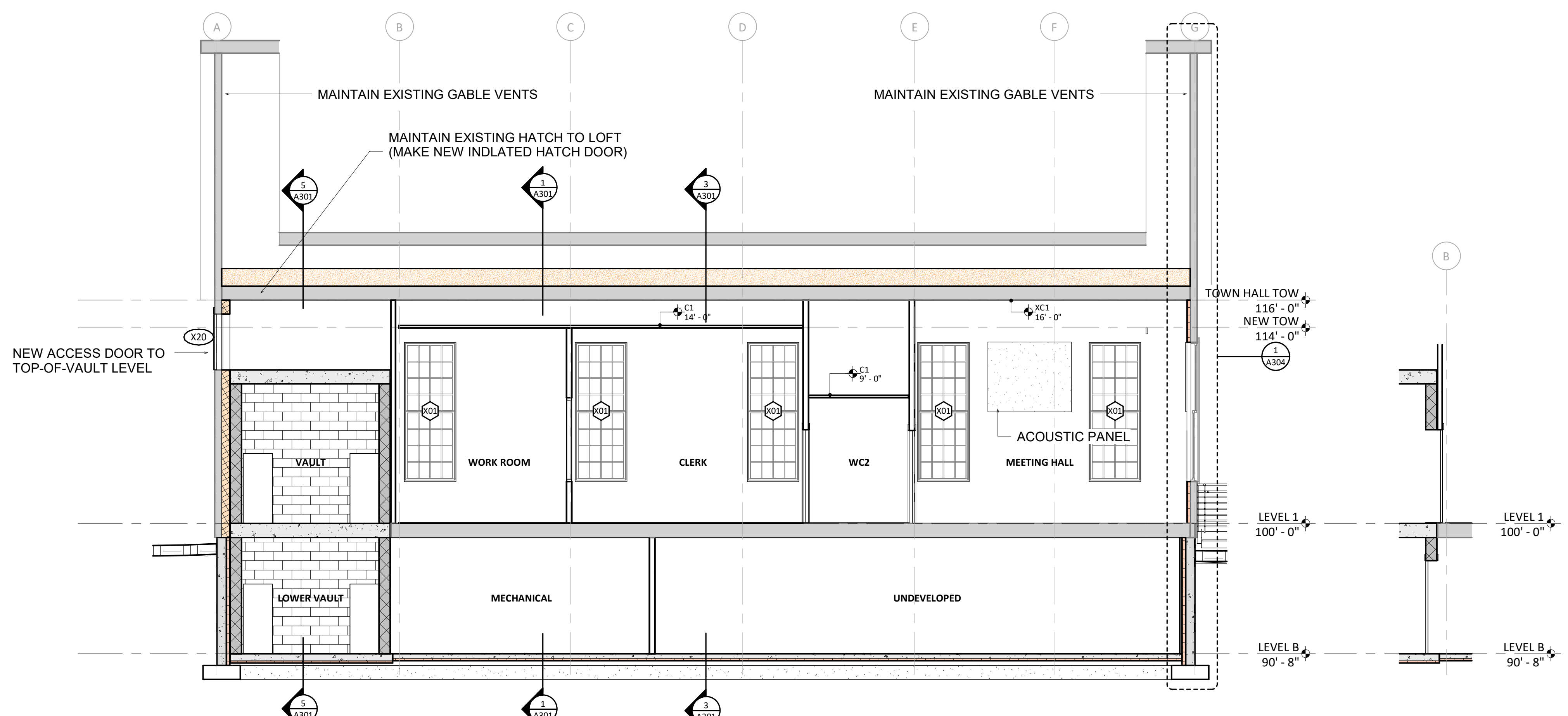
| NO. | REVISIONS |
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BUILDING SECTIONS 2  
**SCALE**  
 3/16" = 1'-0"  
**DATE**  
 2023-05-17 - DRAFT  
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**A302**



**2** BUILDING SECTION SHOWING WEST WALL  
SCALE: 3/16" = 1'-0"



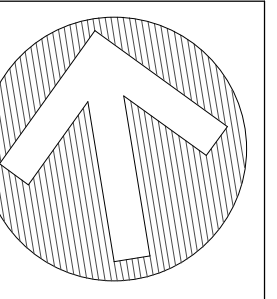
**1** BUILDING SECTION SHOWING EAST WALL  
SCALE: 3/16" = 1'-0"

**3** SECTION THRU VAULT DOORS  
SCALE: 3/16" = 1'-0"

**DD DRAFT SET**  
**2023-06-26**



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2023-06-26



**BARNET TOWN HALL RENO.**  
BARNET, VERMONT

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| NO. | REVISIONS |
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WALL AND DETAIL SECTIONS 1

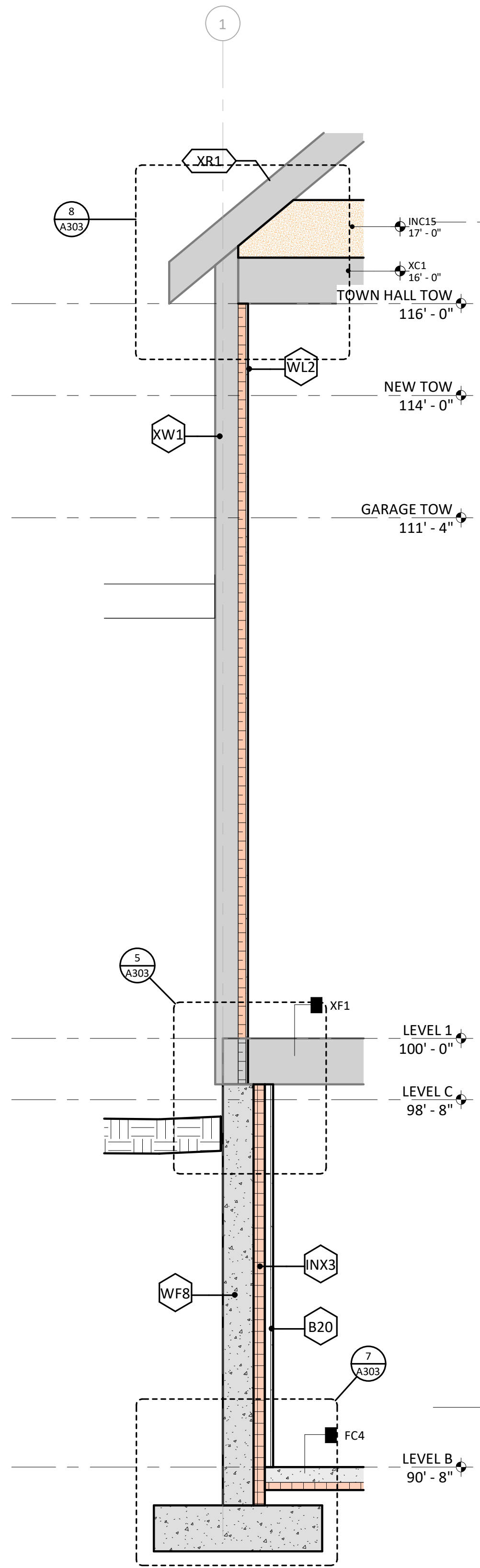
**SCALE**  
As indicated

**DATE**  
2023-05-17 - DRAFT

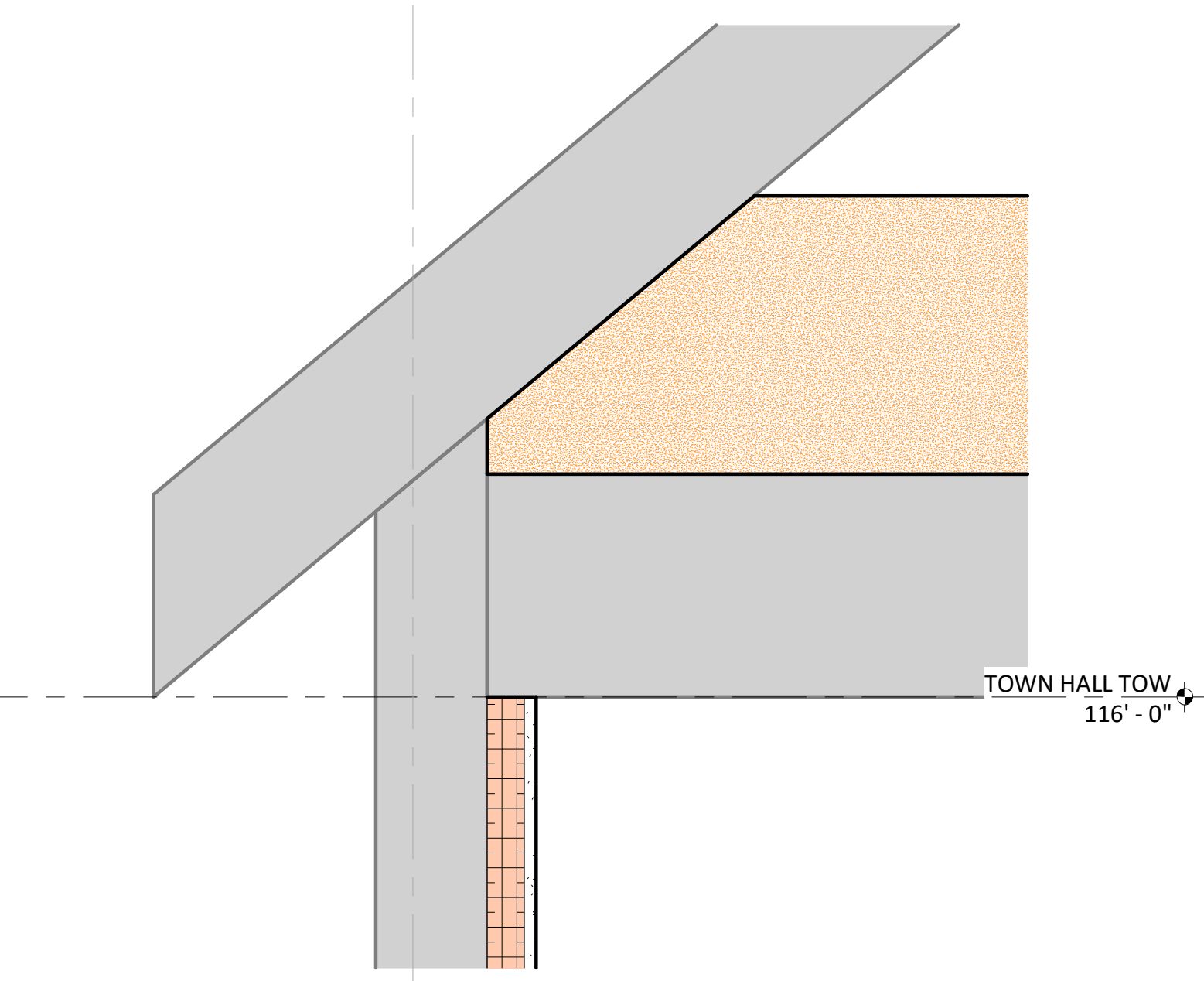
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Author

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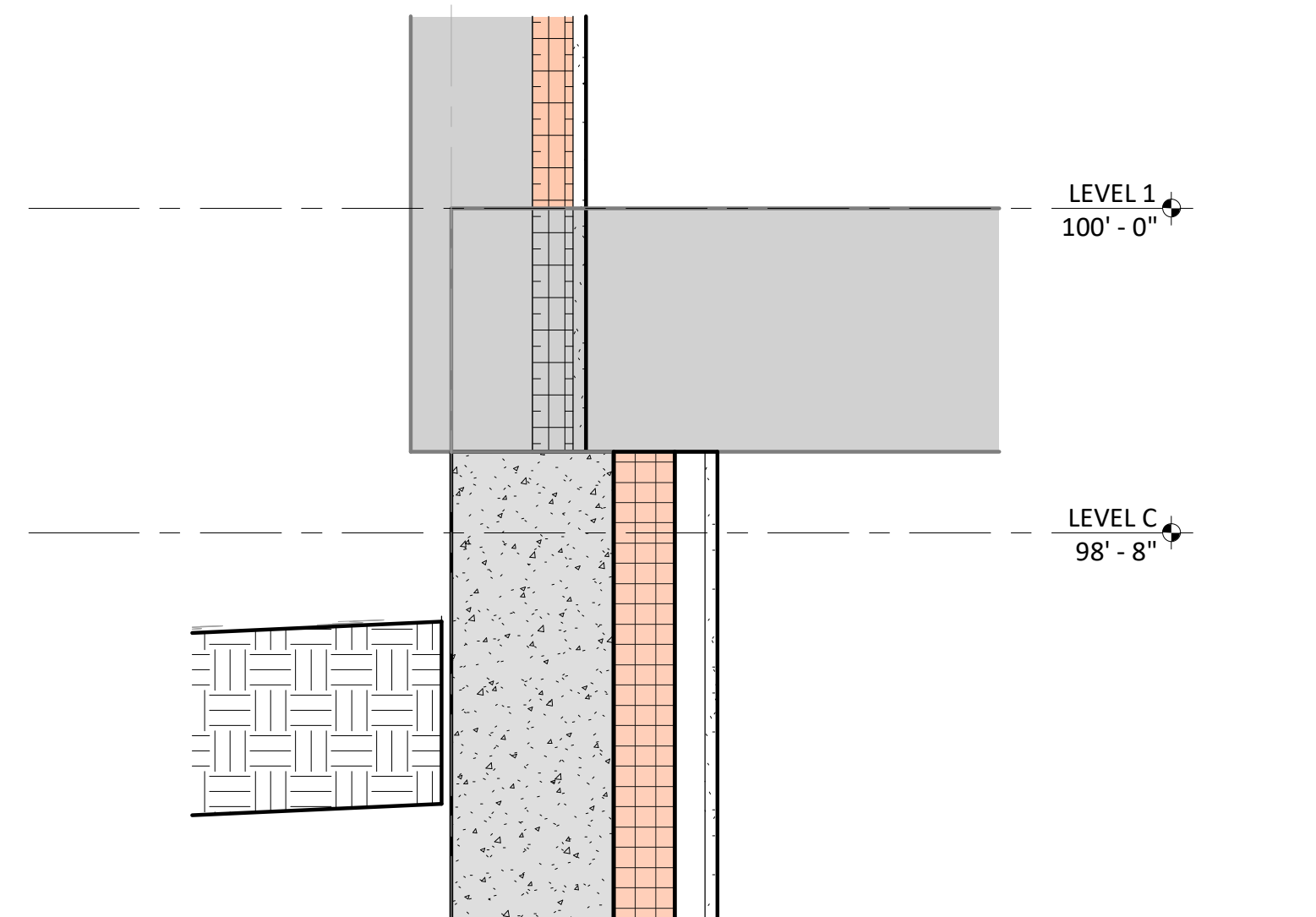
**A303**



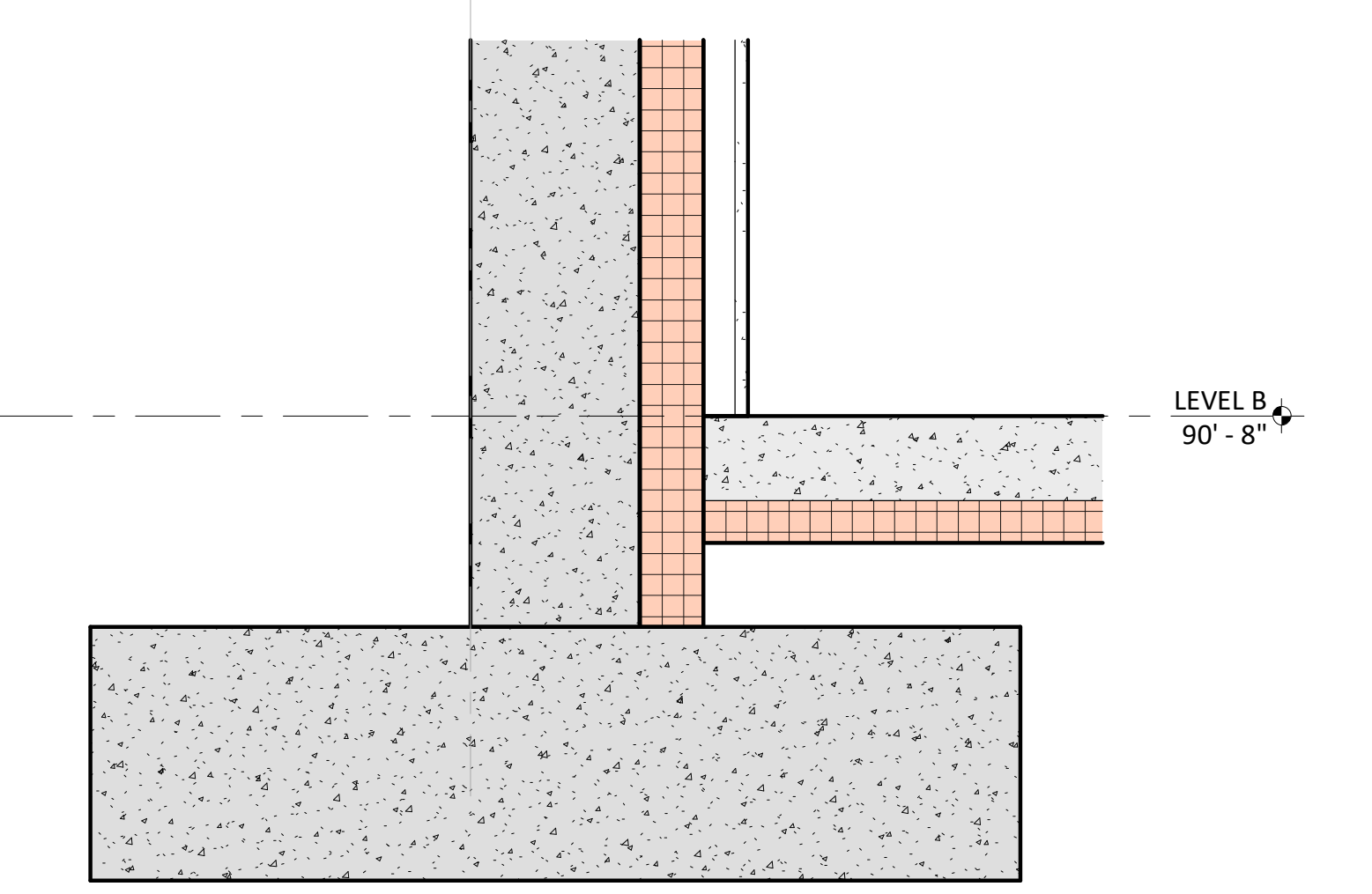
**1 WALL SECTION**  
SCALE: 1/2" = 1'-0"



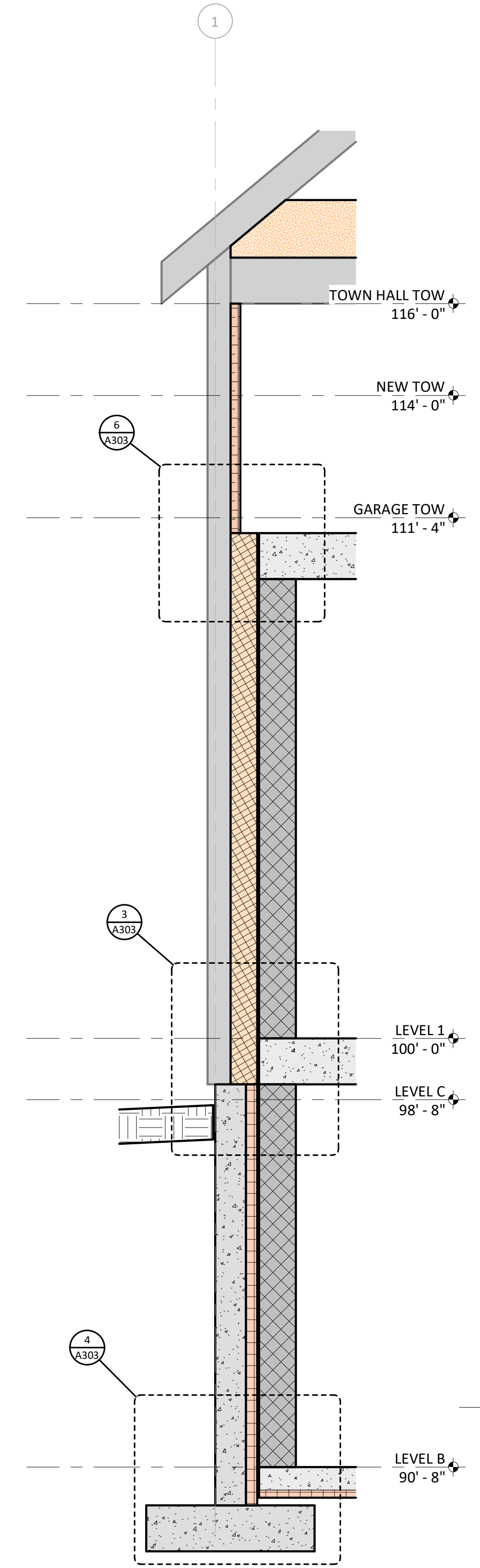
**8 DTL - SX - W/R**  
SCALE: 1 1/2" = 1'-0"



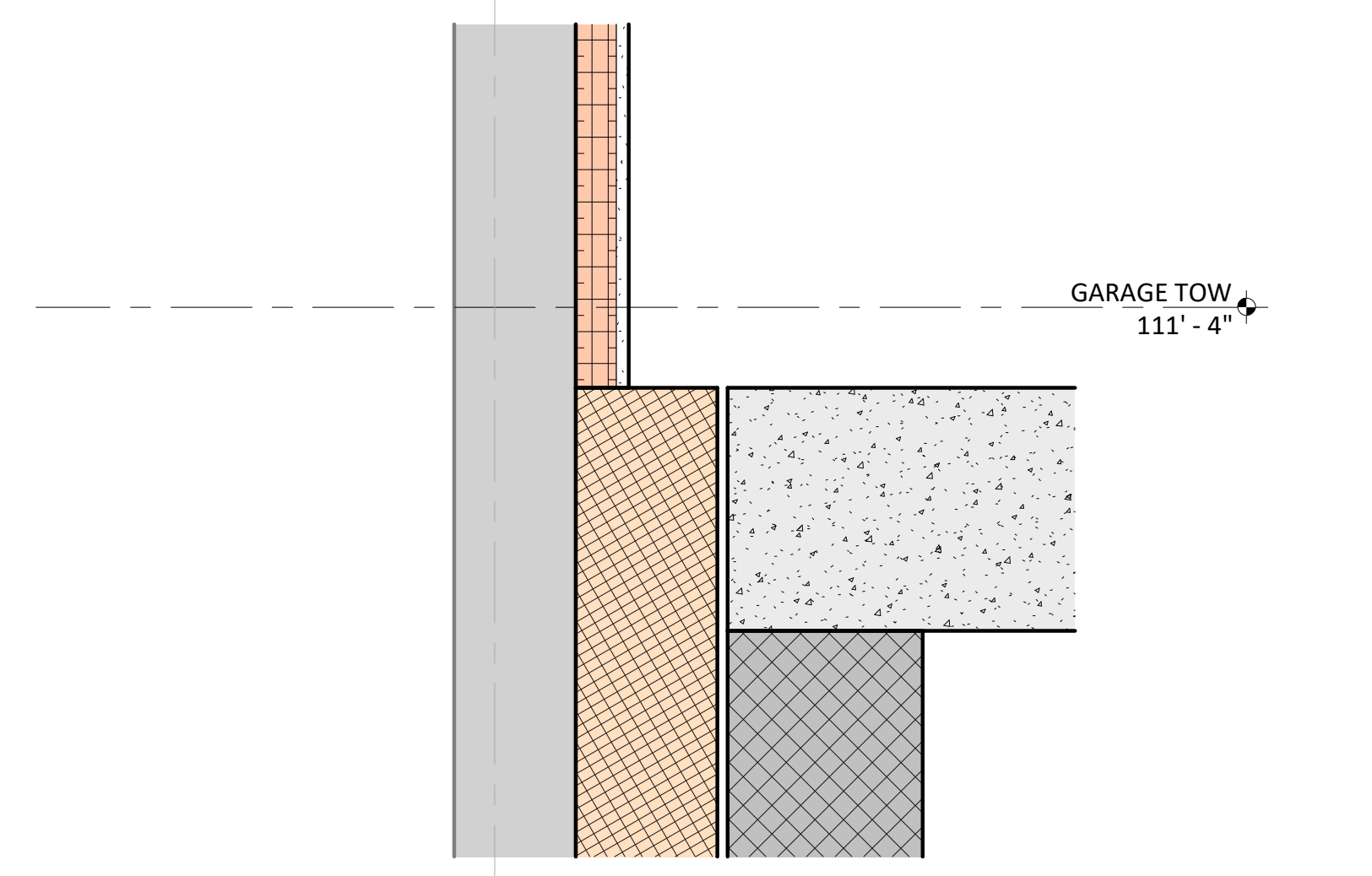
**5 DTL - SX - B/F/W 1**  
SCALE: 1 1/2" = 1'-0"



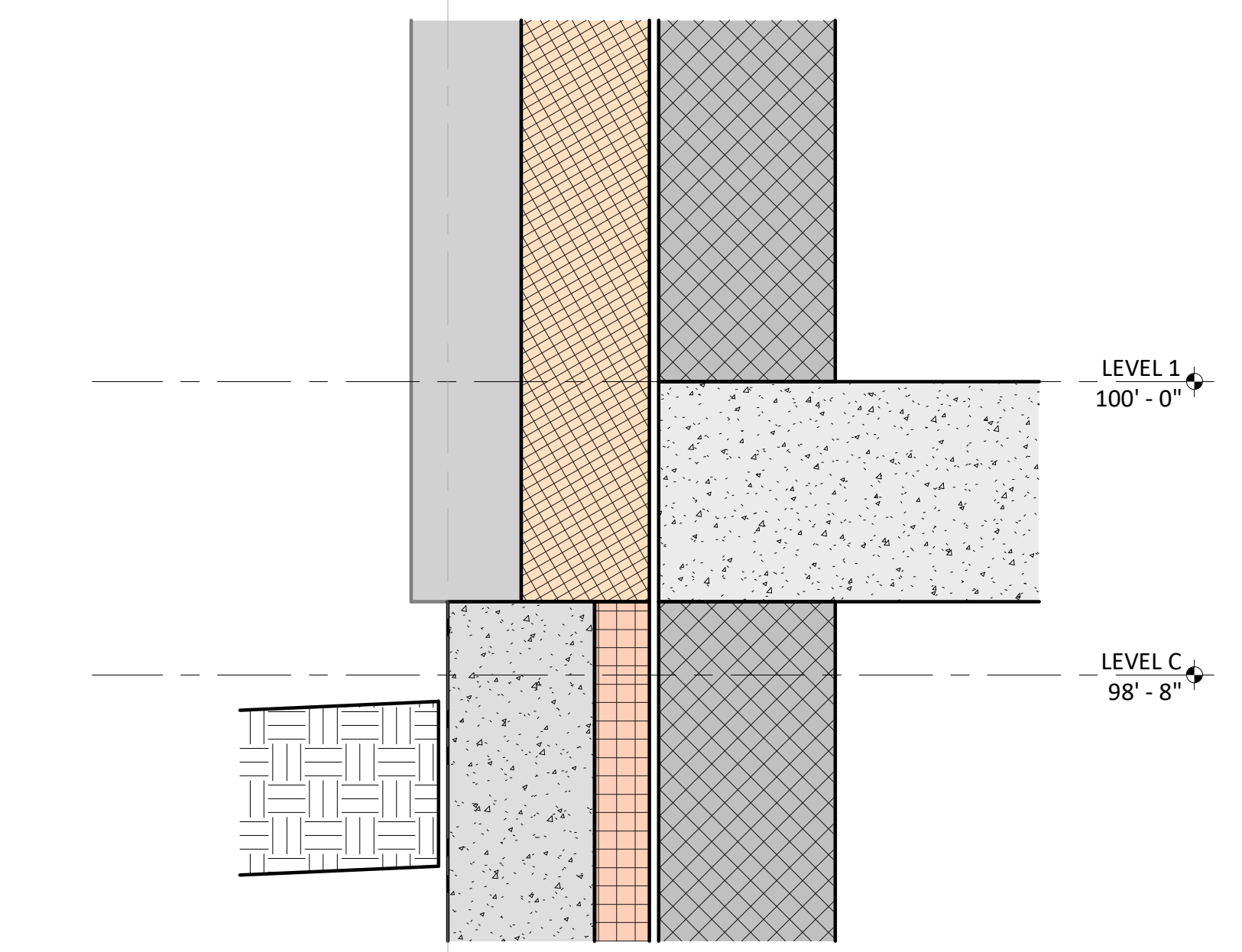
**7 DTL - SX - B W/F**  
SCALE: 1 1/2" = 1'-0"



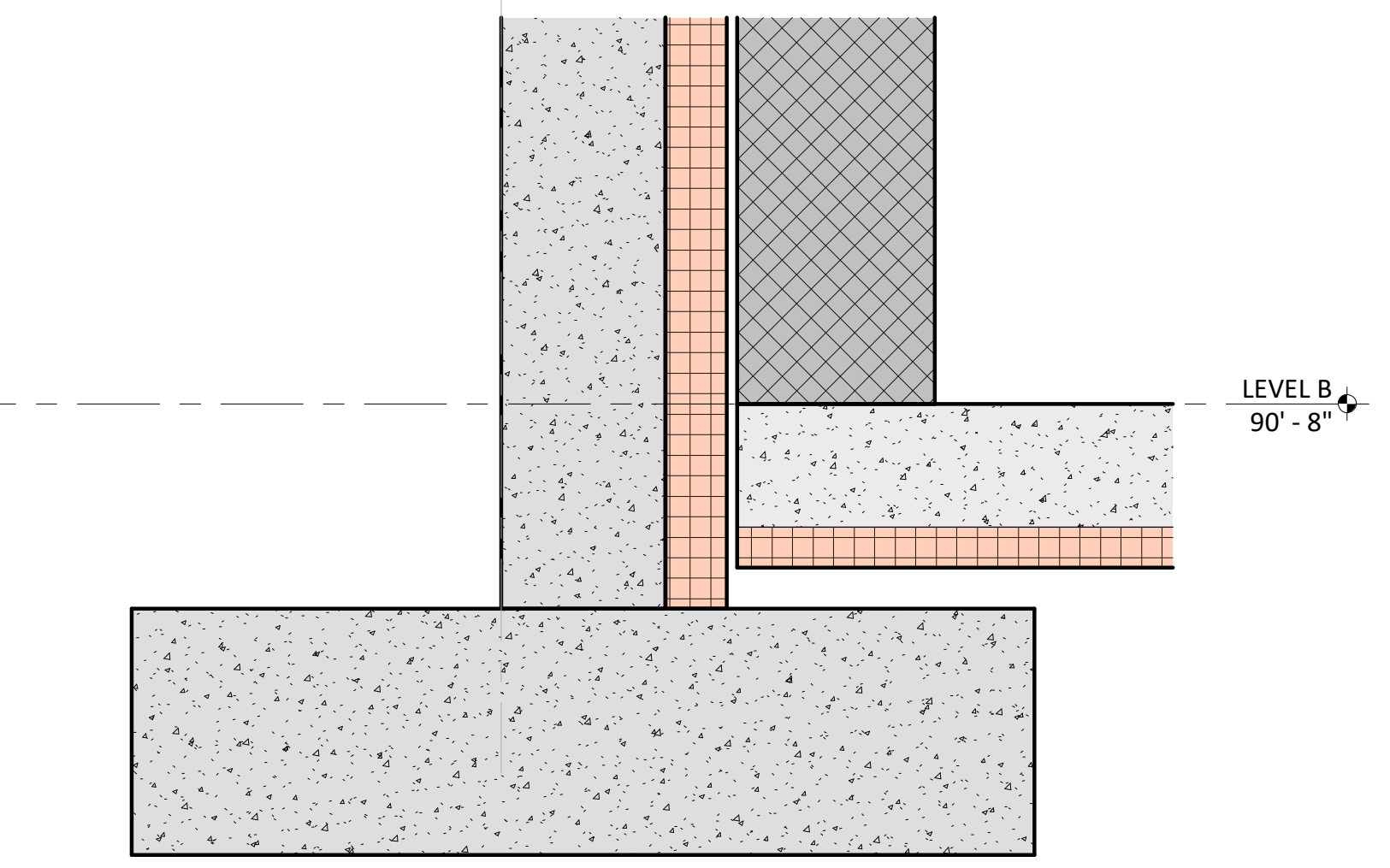
**2 WALL SECTION @ VAULT**  
SCALE: 1/2" = 1'-0"



**6 DTL - SX - VAULT TOP**  
SCALE: 1 1/2" = 1'-0"

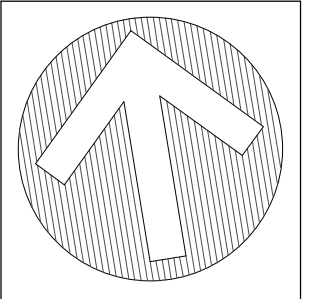


**3 DTL - SX - VAULT B/F/W**  
SCALE: 1 1/2" = 1'-0"



**4 DTL - SX - B VAULT F/W**  
SCALE: 1 1/2" = 1'-0"





# BARNET TOWN HALL RENOV. BARNET, VERMONT

**BLACK RIVER DESIGN**  
73 MAIN STREET  
MONTPELIER, VERMONT 05602

| NO. | REVISIONS |
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WALL AND DETAIL SECTION 2

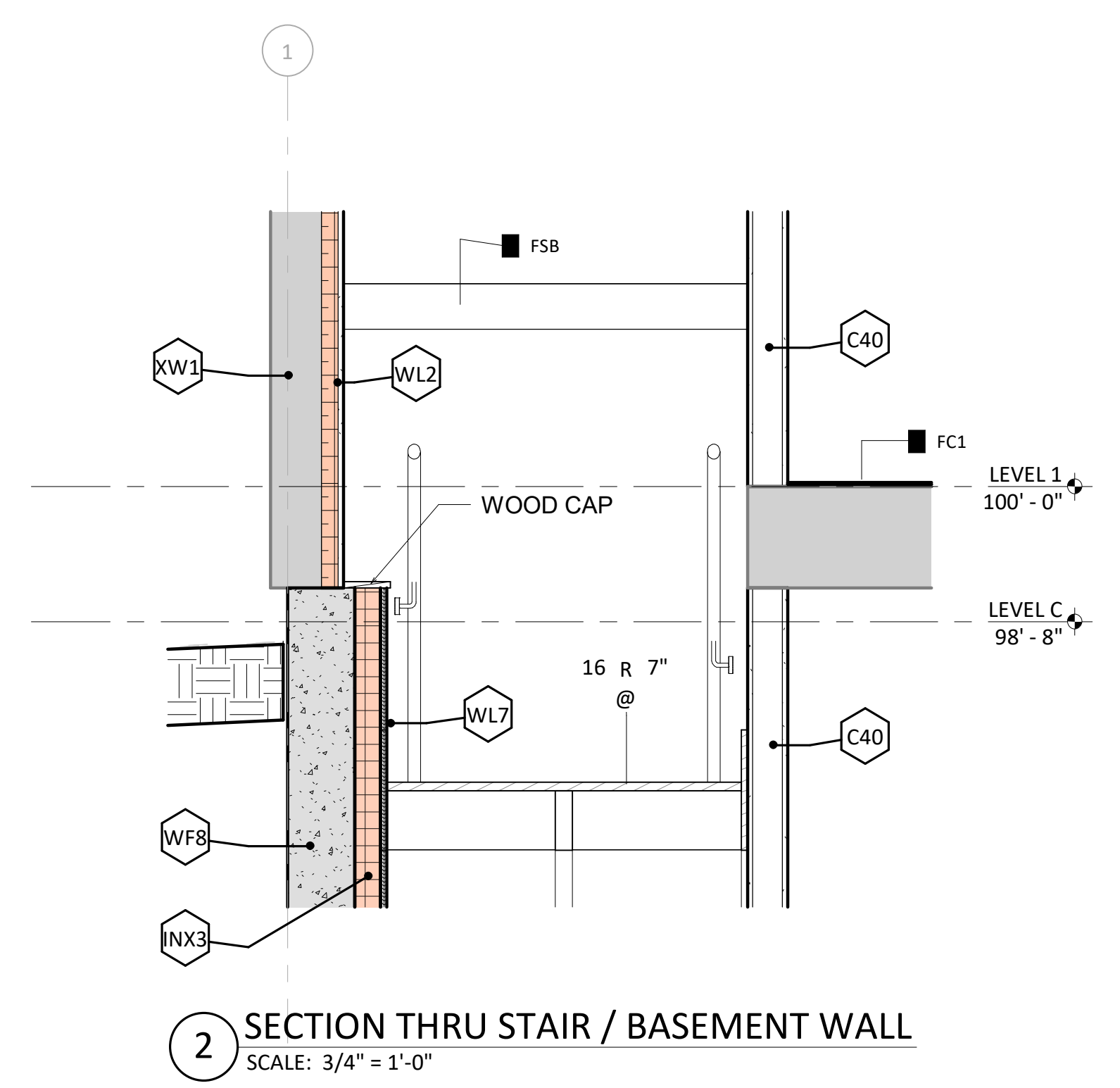
**SCALE**  
As indicated

**DATE**  
2023-05-17 - DRAFT

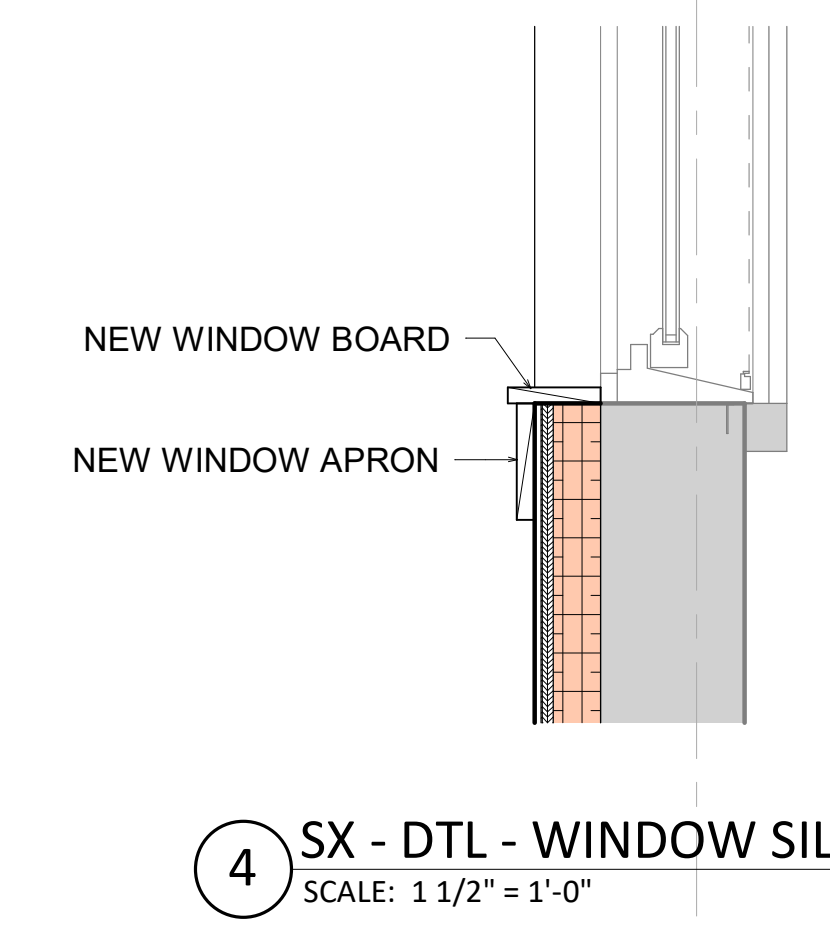
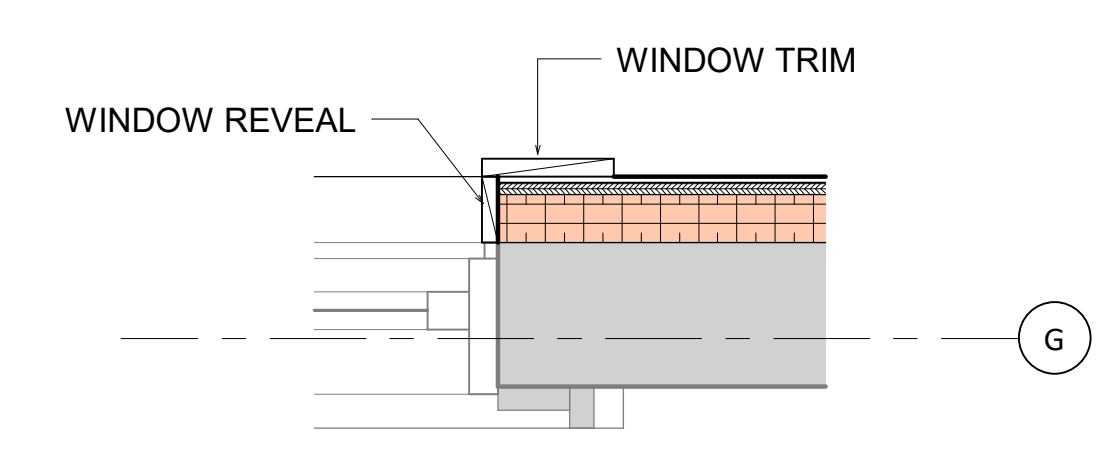
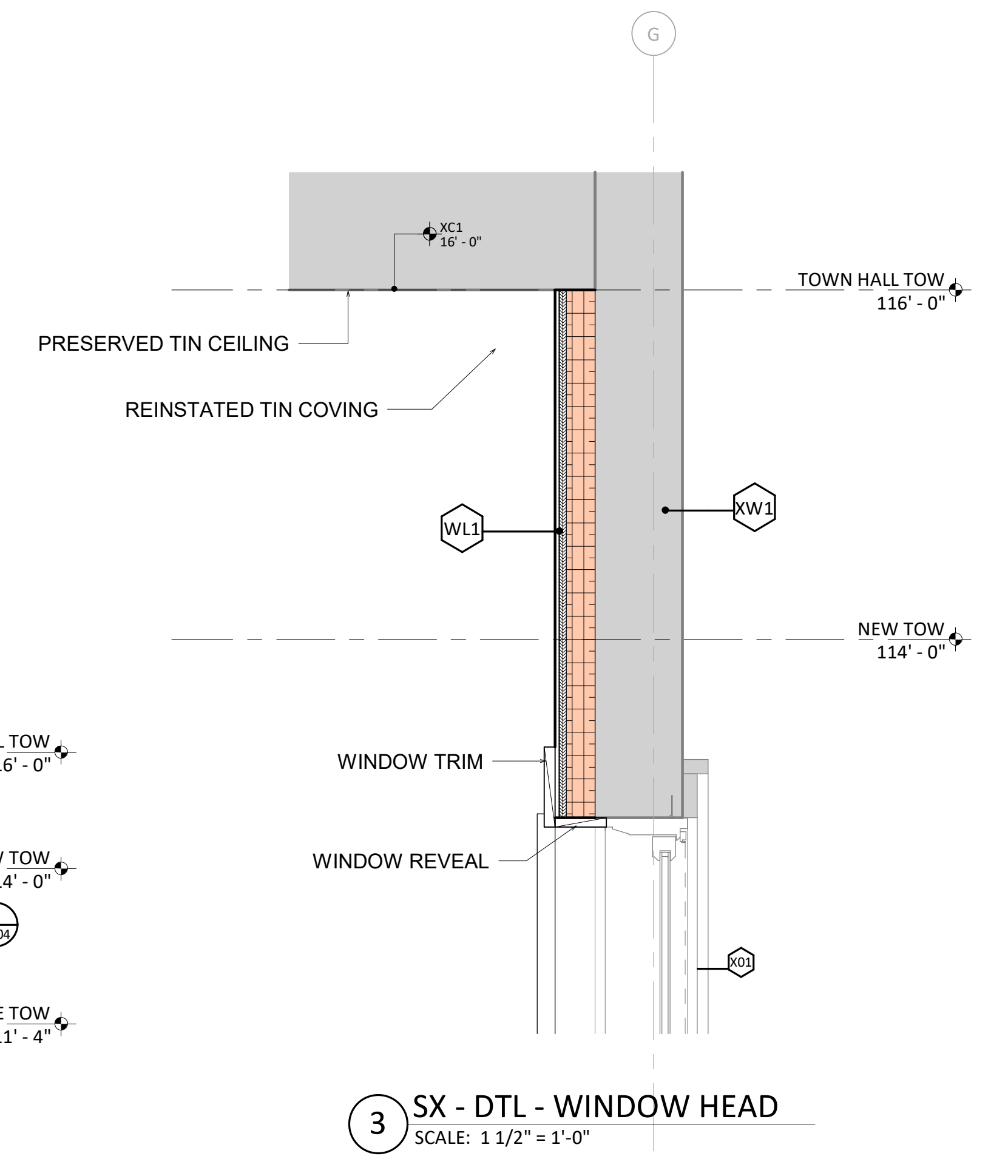
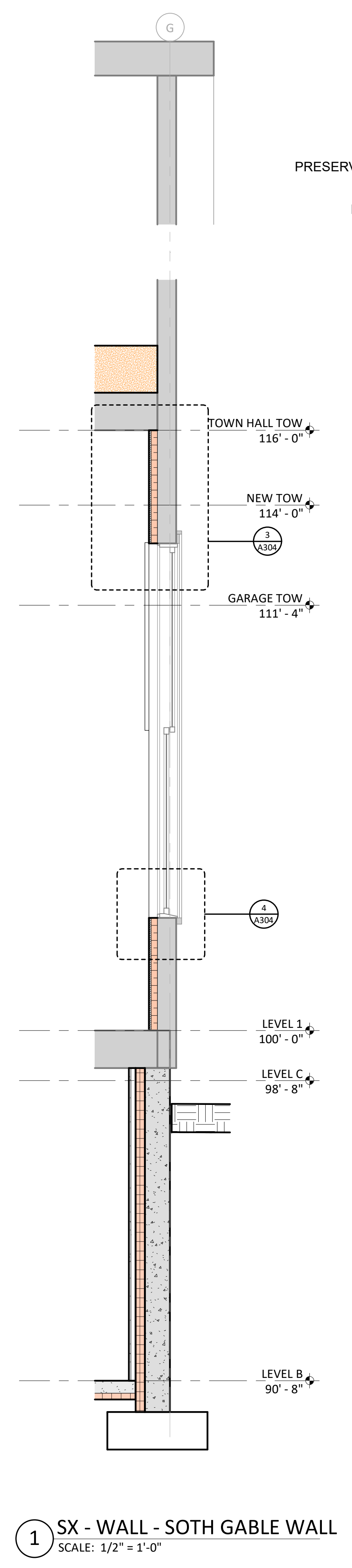
**DRAWN BY**  
Author

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## A304

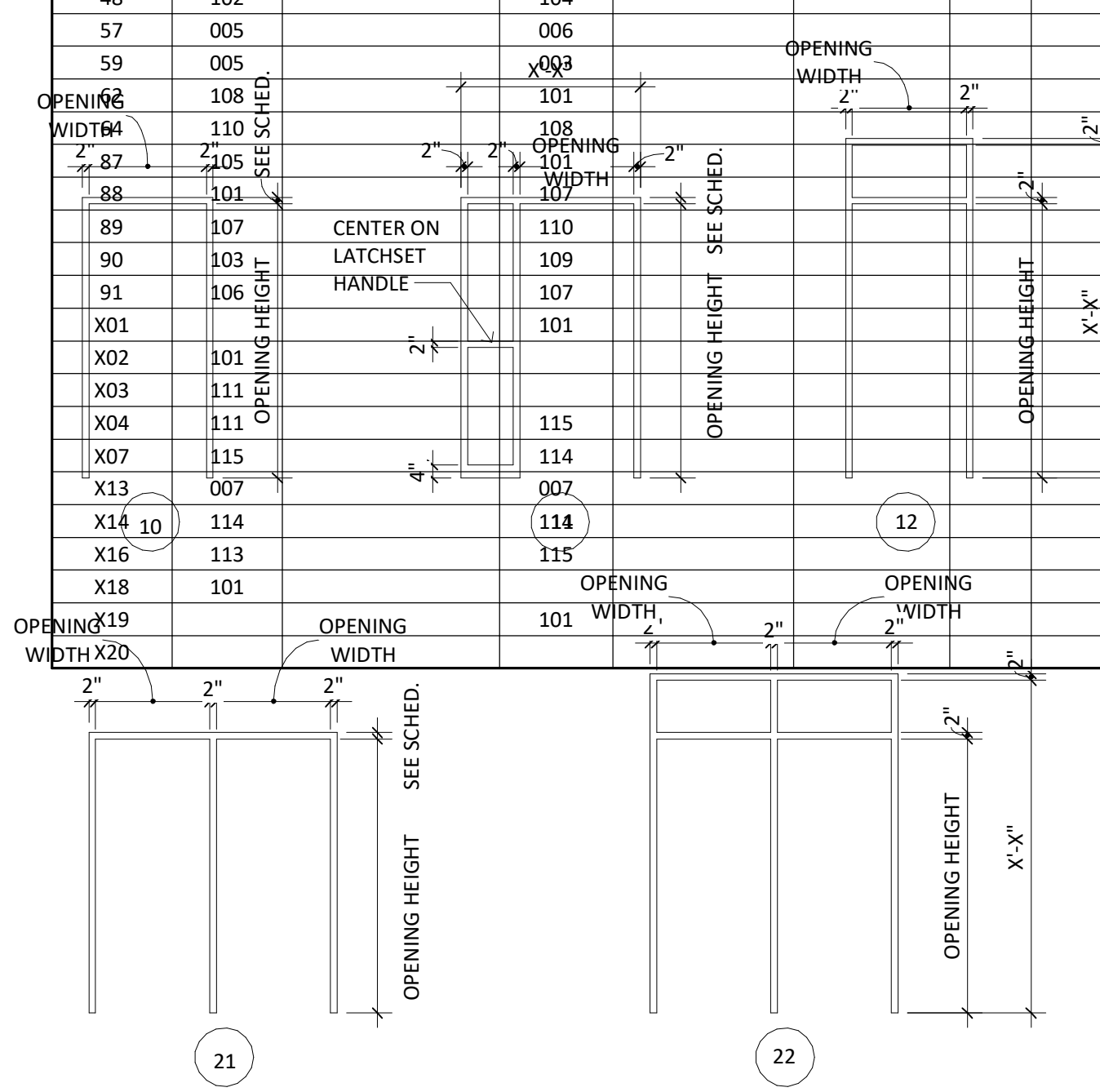


**DD DRAFT SET**  
**2023-06-26**

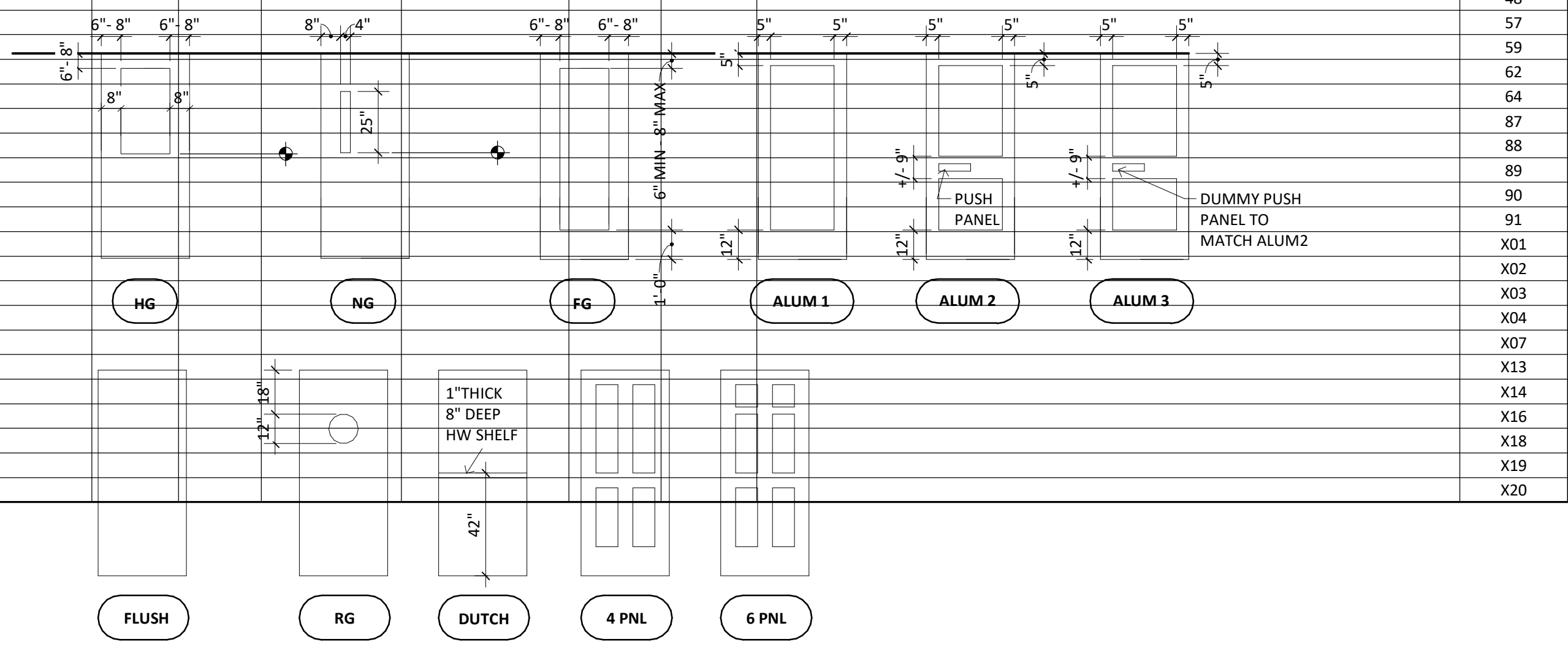


| NUMBER | LOCATION         |              |                |              | DOOR       |             |               | FRAME  |         |                | LATCH SET |                  |      | HARDWARE      |          |              |                 |       |      |        | COMMENTS | NUMBER |          |        |             |            |           |
|--------|------------------|--------------|----------------|--------------|------------|-------------|---------------|--------|---------|----------------|-----------|------------------|------|---------------|----------|--------------|-----------------|-------|------|--------|----------|--------|----------|--------|-------------|------------|-----------|
|        | FROM ROOM NUMBER | TO ROOM NAME | TO ROOM NUMBER | TO ROOM NAME | PANEL TYPE | FIRE RATING | DOOR MATERIAL | FINISH | LEAF(S) | WIDTH x HEIGHT | THICK.    | 1" DOOR UNDERCUT | ELEV | FRAME SECTION | MATERIAL | FRAME FINISH | HARDWARE FINISH | BUTTS | TYPE | HANDLE |          |        | FUNCTION | CLOSER | KICK PLATES | DOOR STOPS | THRESHOLD |

**0 - DOOR AND FRAME ELEVATIONS**



**DOOR TYPES**



**DOOR NOTES AND ABBREVIATIONS**

BOTH LEAVES OF DOUBLE DOORS TO HAVE MATCHING VENEER COLOR

VERIFY SIZE AND FRAME REQUIRED FOR NEW DOORS IN EXISTING CONSTRUCTION

PROVIDE SCHEDULED HARDWARE FOR BOTH LEAVES OF DOUBLE DOORS EXCEPT FLUSH BOLTS

EXTERIOR THRESHOLDS TO EXTEND BEYOND EDGE OF FOUNDATION

EXISTING DOORS INDICATED AS HAVING 2 3/8" BACKSET PROVIDE NEW 2 3/8" BACKSET GRADE 1 CYLINDER HARDWARE AS SCHEDULED OR PROVIDE PUSH PLATES ON BOTH SIDES OF DOOR WITH 2 3/4" GRADE 1 CYLINDER HARDWARE AS INDICATED

SECOND NUMBER IN FRAME ELEVATION COLUMN INDICATES FRAME HEAD DEPTH

PUSH, PULL OR BOTH IN KICKPLATE COLUMN INDICATES SIDE(S) OF DOOR FOR KICKPLATE TO BE INSTALLED

ALL GLAZING IN FIRE RATED DOORS TO BE WIRED GLASS

ALL GLAZING IN EXTERIOR DOORS TO BE 1" INSULATING GLASS FULLY TEMPERED (IG-FT)

ALL OTHER GLAZING TO BE HEAT TREATED OR LAMINATED GLASS UNLESS OTHERWISE INDICATED

SIGNAGE SHALL CONSIST OF BOTH DIRECT APPLIED LETTERS AND ROOM SIGNS, VERIFY FINAL SIGNAGE LIST WITH ARCHITECT BEFORE ORDERING

PROVIDE HORIZONTAL LOUVER BLINDS AT LOCATIONS INDICATED ON DOOR SCHEDULE

ALL EXISTING DOORS AND FRAMES TO BE REFINISHED

ALL PANIC HARDWARE TO BE KEYED

COORDINATE DOOR PULL AND KEY CYLINDER LOCATIONS TO ALLOW FULL KEY ACCESS TO KEY CYLINDER

PROVIDE KEY CONTROL SYSTEM

"XXX" IN SIGNAGE COLUMN REPRESENTS ROOM NUMBER. THREE (3) NUMBER CONTENT TO BE DETERMINED

ALUM - ALUMINUM  
BB - BALL BEARING  
BF - BARRIER FREE  
CLASSRM - CLASSROOM  
ELEV - ELEVATION  
EXIST - EXISTING  
EXT - EXTERIOR  
FG - FULL GLASS

FL - FUSIBLE LINK  
FLR - FLOOR  
FNCTN - FUNCTION  
FT - FEET  
HD - HEAVY DUTY  
HG - HALF GLASS  
HGHIT - HEIGHT  
HNDL - HANDLE

HW - HARDWOOD  
IN - INCHES  
INT - INTERIOR  
MTRL - MATERIAL  
MI - METAL INSULATED  
MHO - MAGNETIC HOLD OPEN  
MIN - MINIMUM  
NG - NARROW GLASS

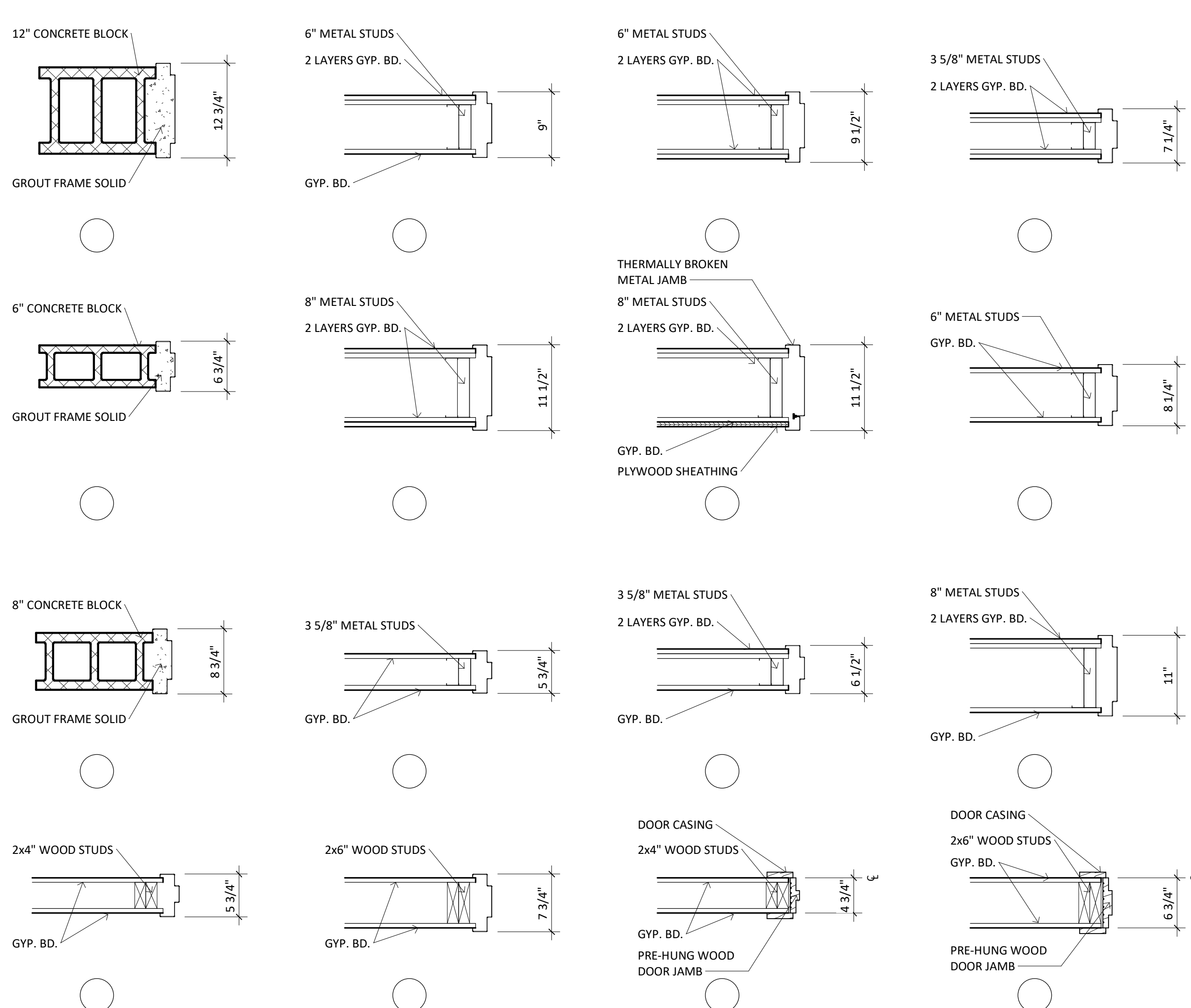
NRP - NON REMOVABLE PIN  
SCN - SECTION  
SCW - SOLID CORE WOOD  
SIM - SIMILAR  
STD - STANDARD  
STORERM - STOREROOM  
THK - THICKNESS  
UC - UNDERCUT  
VR - VERTICAL ROD

**LATCH SET FUNCTION / ANSI FUNCTION CONVERSION**

| LATCH SET FUNCTION NAME | MORTISE FUNCTION      | CYLINDER FUNCTION     | PANIC FUNCTION |
|-------------------------|-----------------------|-----------------------|----------------|
| CLASSROOM               | F05                   | F84                   | ---            |
| ENTRY                   | F12                   | F81                   | ---            |
| INTRUDER                | F32                   | F110                  | ---            |
| OFFICE                  | F04                   | F81                   | ---            |
| STORAGE                 | F07                   | F86                   | ---            |
| PASSAGE                 | F01                   | F75                   | ---            |
| CLOSET                  | F05 (NO INSIDE TRIM)  | F84 (NO INSIDE TRIM)  | ---            |
| COMMUNICATING           | F14                   | F91                   | ---            |
| PRIVACY                 | F19                   | F76                   | ---            |
| EXIT                    | F01 (NO OUTSIDE TRIM) | F75 (NO OUTSIDE TRIM) | F01            |
| PULL                    | ---                   | ---                   | F03            |
| LEVER                   | ---                   | ---                   | F08            |

AUXILIARY DEADBOLTS TO HAVE ANSI FUNCTION E0170

**0 - DOOR AND FRAME LEGEND**



DD DRAFT SET  
2023-06-26



**REVISIONS**

| NO. | DESCRIPTION |
|-----|-------------|
|     |             |
|     |             |
|     |             |

DOOR SCHEDULE

SCALE  
As indicated

DATE  
2023-05-17 - DRAFT

DRAWN BY  
Author

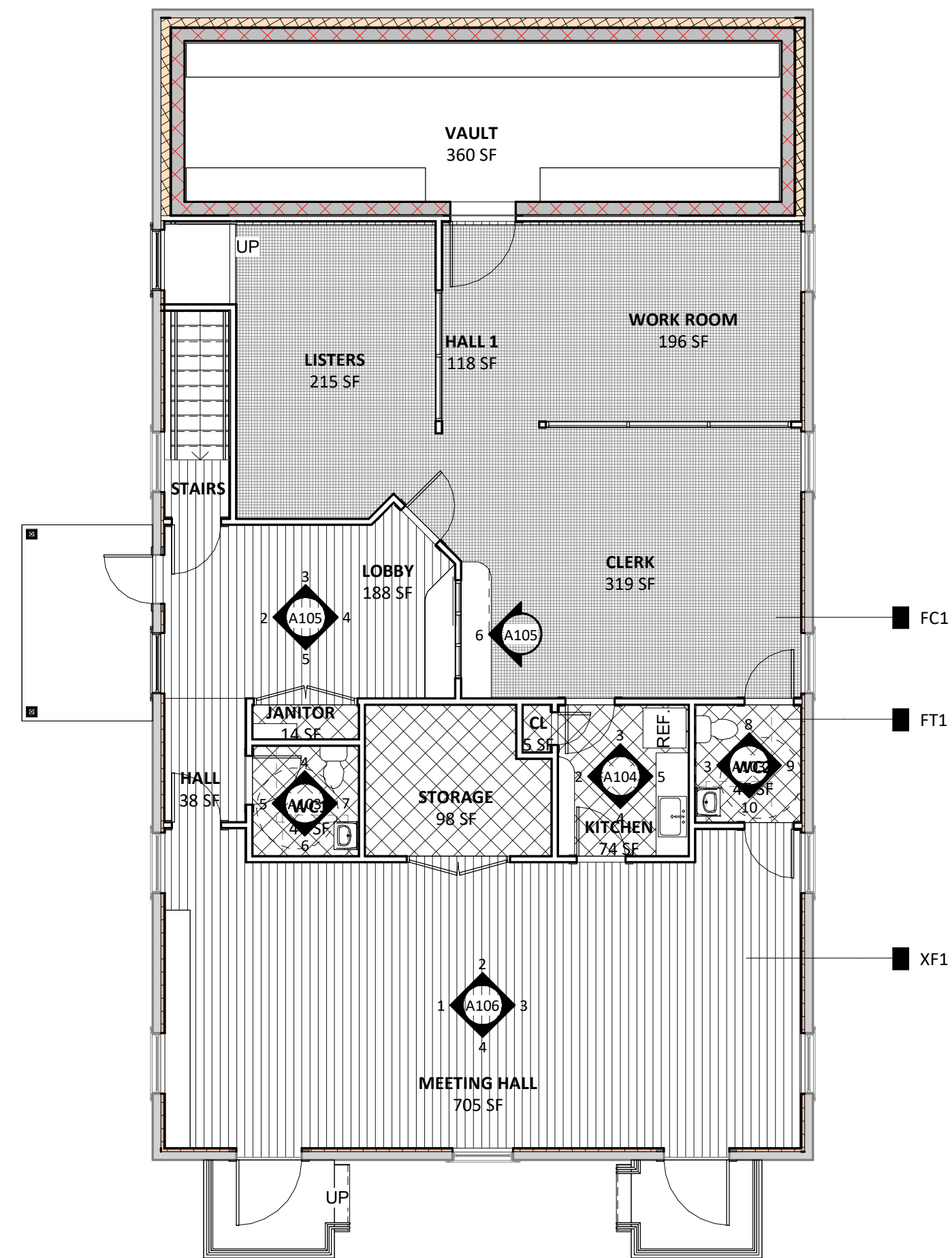
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| ROOM NUM. | ROOM NAME        | FLOOR    |        | WALL     |        | CEILING  |        | BASE     |        | COMMENTS | NUM. |
|-----------|------------------|----------|--------|----------|--------|----------|--------|----------|--------|----------|------|
|           |                  | MATERIAL | FINISH | MATERIAL | FINISH | MATERIAL | FINISH | MATERIAL | FINISH |          |      |
| 001       | UNDEVELOPED      |          |        |          |        |          |        |          |        |          | 001  |
| 002       | STORAGE          |          |        |          |        |          |        |          |        |          | 002  |
| 003       | MECHANICAL       |          |        |          |        |          |        |          |        |          | 003  |
| 004       | STAIRS B         |          |        |          |        |          |        |          |        |          | 004  |
| 005       | HALL B           |          |        |          |        |          |        |          |        |          | 005  |
| 006       | LOWER VAULT      |          |        |          |        |          |        |          |        |          | 006  |
| 007       | LISTERS          |          |        |          |        |          |        |          |        |          | 007  |
| 101       | MEETING HALL     |          |        |          |        |          |        |          |        |          | 101  |
| 102       | HALL             |          |        |          |        |          |        |          |        |          | 102  |
| 103       | JANITOR          |          |        |          |        |          |        |          |        |          | 103  |
| 104       | WC1              |          |        |          |        |          |        |          |        |          | 104  |
| 105       | STORAGE          |          |        |          |        |          |        |          |        |          | 105  |
| 106       | CL               |          |        |          |        |          |        |          |        |          | 106  |
| 107       | KITCHEN          |          |        |          |        |          |        |          |        |          | 107  |
| 108       | WC2              |          |        |          |        |          |        |          |        |          | 108  |
| 109       | LOBBY            |          |        |          |        |          |        |          |        |          | 109  |
| 110       | CLERK            |          |        |          |        |          |        |          |        |          | 110  |
| 111       | STAIRS           |          |        |          |        |          |        |          |        |          | 111  |
| 112       | LISTERS - ZONING |          |        |          |        |          |        |          |        |          | 112  |
| 113       | HALL 1           |          |        |          |        |          |        |          |        |          | 113  |
| 114       | WORK ROOM        |          |        |          |        |          |        |          |        |          | 114  |
| 115       | VAULT            |          |        |          |        |          |        |          |        |          | 115  |

| ARCHITECTURAL CABINET SCHEDULE |       |        |       |          |      |          |
|--------------------------------|-------|--------|-------|----------|------|----------|
| Type Mark                      | Width | Height | Depth | Material | Lock | Comments |
|                                |       |        |       |          |      |          |



1 FINISHES PLAN  
SCALE: 1/8" = 1'-0"

DD DRAFT SET  
2023-06-26

### 0 - FINISH NOTES AND ABBREVIATIONS

APC - ACOUSTICAL PANEL CEILING  
 EXIST - EXISTING  
 GYP OR GYP BD - GYPSUM BOARD  
 POLY - POLYURETHANE CLEARCOAT  
 SUSP - SUSPENDED  
 VCT - VINYL COMPOSITION TILE

SEE REFLECTED CEILING PLAN(S) FOR SUSPENDED ACOUSTICAL PANEL CEILING SIZES AND LAYOUT.

SEE REFLECTED CEILING PLAN(S) FOR LOCATION AND HEIGHT OF DROP GYP. BD. SOFFITS.

TOILET ROOMS OFF CLASSROOMS TO RECEIVE SHEET VINYL FLOORING WITH 4" RESILIENT WALL BASE AS SPECIFIED WITH PAINTED WALLS AND CEILING.

SEE FLOOR PLAN(S) FOR LOCATION OF CHANGES IN FLOORING MATERIAL

PROVIDE ACCESS PANELS IN CEILING CONSTRUCTION AS NECESSARY TO ACCESS MECHANICAL EQUIPMENT. SEE MECHANICAL DRAWINGS AND SPECIFICATIONS.

ROOMS CONTAINING PLUMBING FIXTURES AND TOILET PARTITIONS TO REMAIN TO BE REMOVED AND REINSTALLED IF NEW FLOORING IS CALLED FOR ON FINISH SCHEDULE.

### CASEWORK NOTES AND ABBREVIATIONS

ARCHITECTURAL CASEWORK UNITS ARE INDICATED WITH TEXT AT A 45° ANGLE ON PLANS.

REFERENCE PLANS AND ELEVATIONS FOR COUNTERTOP MATERIAL, BACKSPLASH, WIDTH, DEPTH AND HEIGHT.

WHERE SIDE OF COUNTERTOPS WITH BACKSPLASH TERMINATE AT A WALL, PROVIDE WRAPPING END SPLASH.

COORDINATE COUNTERTOP FIXTURES AND FITTINGS, INCLUDING BUT NOT LIMITED TO GROMMETS, PLUMBING FIXTURES, ETC.

REFERENCE PLANS AND ELEVATIONS FOR WALL CABINET MOUNTING HEIGHTS AND LOCATIONS.

ALL BASE CABINETS TO BE PROVIDED WITH 4" TOE KICK AS SHOWN ON DRAWINGS. TOE KICK FINISH TO MATCH BASE MATERIAL INDICATED IN FINISH SCHEDULE. IF NO MATERIAL INDICATED IN FINISH SCHEDULE, PROVIDE 4" RUBBER BASE.

ALL CABINETS TO HAVE ADJUSTABLE SHELVING AS SHOWN ON DRAWINGS.

WHERE CABINETS DO NOT FILL TO AN END WALL, PROVIDE FILLER PANELS TO COMPLETE A CABINERY RUN, UNLESS NOTED OTHERWISE.

PROVIDE DOOR SILENCERS FOR EVERY 24 INCHES OF DOOR JAMB HEIGHT BUT NOT LESS THAN TWO PER DOOR.

BARNET TOWN HALL RENOVATION  
BARNET, VERMONT



| REVISIONS |
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|                            |
|----------------------------|
| FINISH SCHEDULE            |
| SCALE<br>As indicated      |
| DATE<br>2023-05-17 - DRAFT |
| DRAWN BY<br>Author         |
| CHECKED BY<br>Checker      |

A900