

01/04/2023

RENOVATIONS TO BARNET TOWN HALL

BARNET, VERMONT



BARNET TOWN HALL RENO.
BARNET, VERMONT

OWNER

TOWN OF BARNET, VERMONT
1743 US ROUTE 5 SOUTH
BARNET, VT, 05821
BEN GATES
(AREACODE) PHONE NUMBER
benjamin_gates@yahoo.com

CIVIL ENGINEER

RUGGLES ENGINEERING SERVICES, INC.
4580 MEMORIAL DRIVE
ST. JOHNSBURY, VT 05819
OFFICE: 802-748-5898
CONTACT: NATHAN P. SICARD, P.E.
CELL: 802-373-9903
EMAIL: NATE.RES@MYFAIRPOINT.NET

ARCHITECT

BLACK RIVER DESIGN, ARCHITECTS
73 MAIN STREET
MONTPELIER, VT 05602
PROJECT ARCHITECT - JAY ANCEL
PROJECT MANAGER - ROLLIN TAIT
(802)223-2044
jaya@blackriverdesign.com
Rollint@blackriverdesign.com

STRUCTURAL ENGINEER

NORTHEAST STRUCTURAL ENGINEERING, PLLC
4025 ROLLO ROAD
SWANTON, VT. 05488
CONTACT: BRIAN DOUGLAS
TEL: 802-782-0342
EMAIL: Brian@nestructural.com

CONSTRUCTION MANAGER

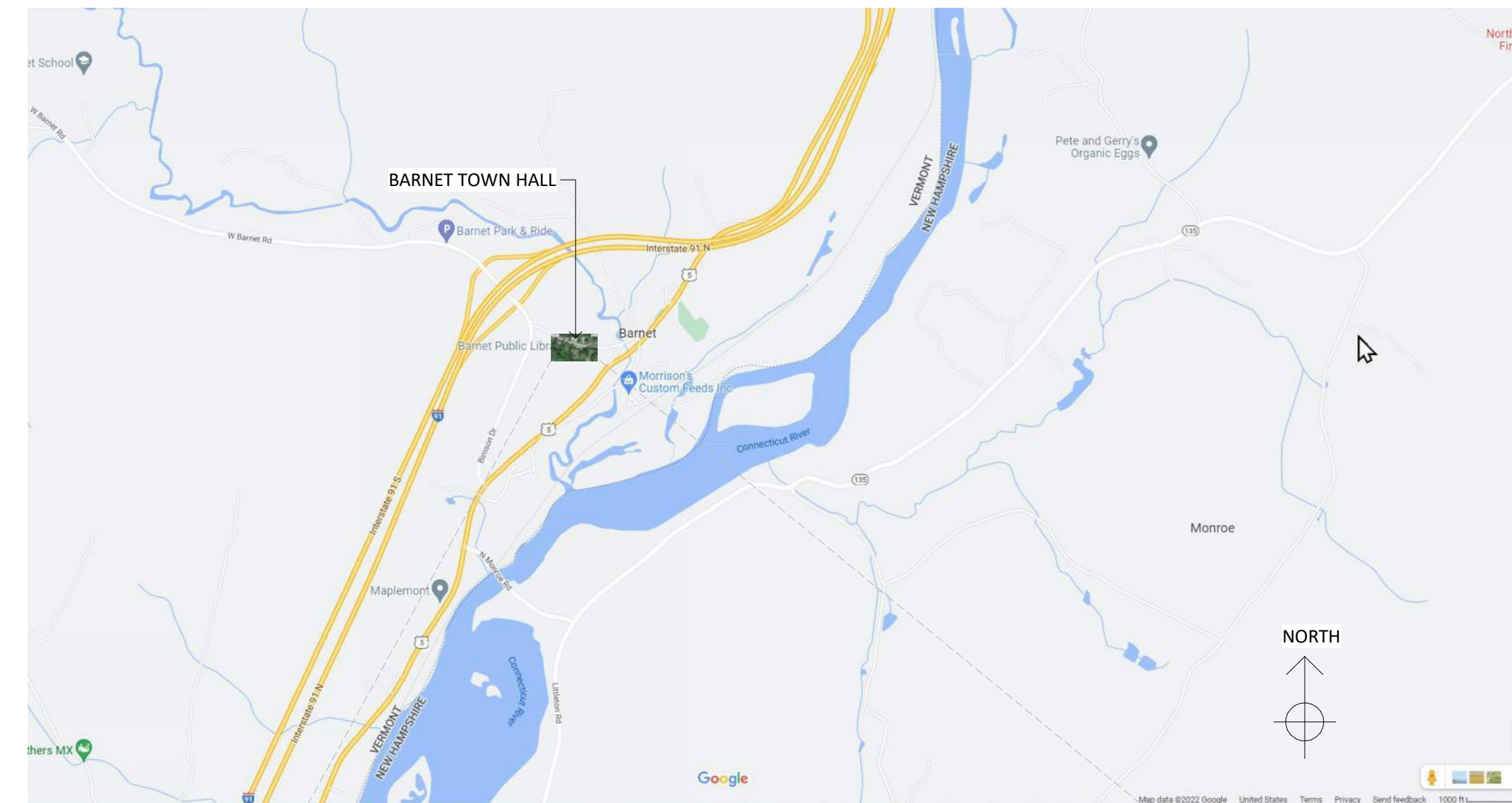
ESTES & GALLUP
PO BOX 240, LYME, NH, 03768
CONTACT: TIM ESTES
TEL: 603-795-4400
EMAIL: tim@estes-gallup.com

MECHANICAL ENGINEER

DESIGN- BUILD

ELECTRICAL ENGINEER

CFW
ST JOHNSBURY ACADEMY
CONTACT: JEREMY



2 LOCATION PLAN
SCALE: 1 : 24000



1 SITE PLAN
SCALE: 1" = 80'-0"

DRAWING INDEX

A101	FIRST FLOOR PLAN
A102	BASEMENT PLAN
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AE101	EXISTING PLANS AND VIEWS
AH301	HISTORIC PLAN
AH401	VIEWS - STAGE AREA

BLACK RIVER DESIGN
73 MAIN STREET
MONTPELIER, VERMONT 05602

REVISIONS

COVER

SCALE
As indicated

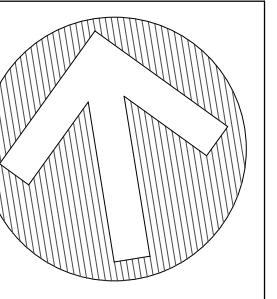
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BARNET TOWN HALL RENOV.
BARNET, VERMONT

BLACK RIVER DESIGN
73 MAIN STREET
MONTPELIER, VERMONT 05602

REVISIONS

NO.	DESCRIPTION	DATE

EXISTING PLANS AND VIEWS

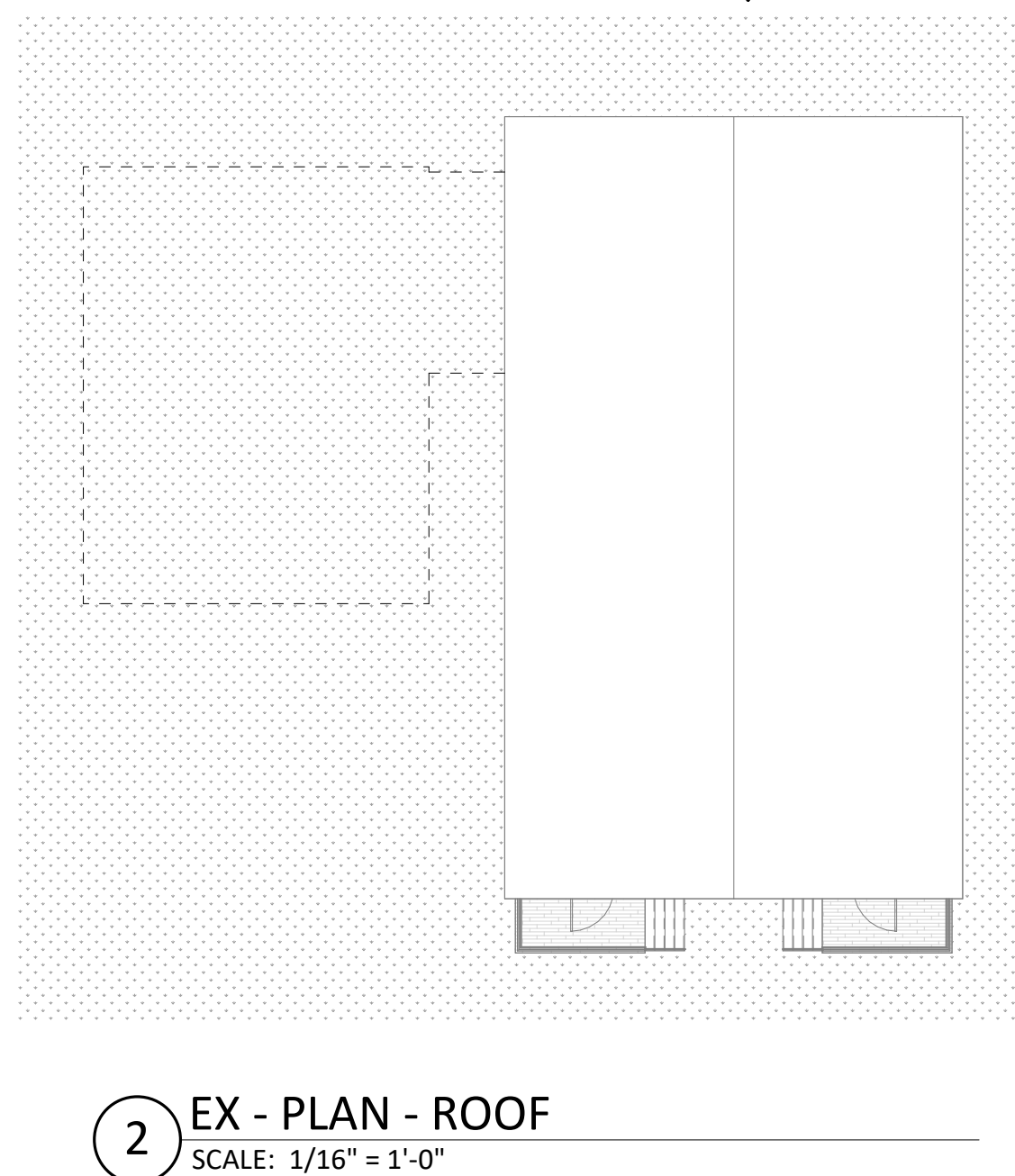
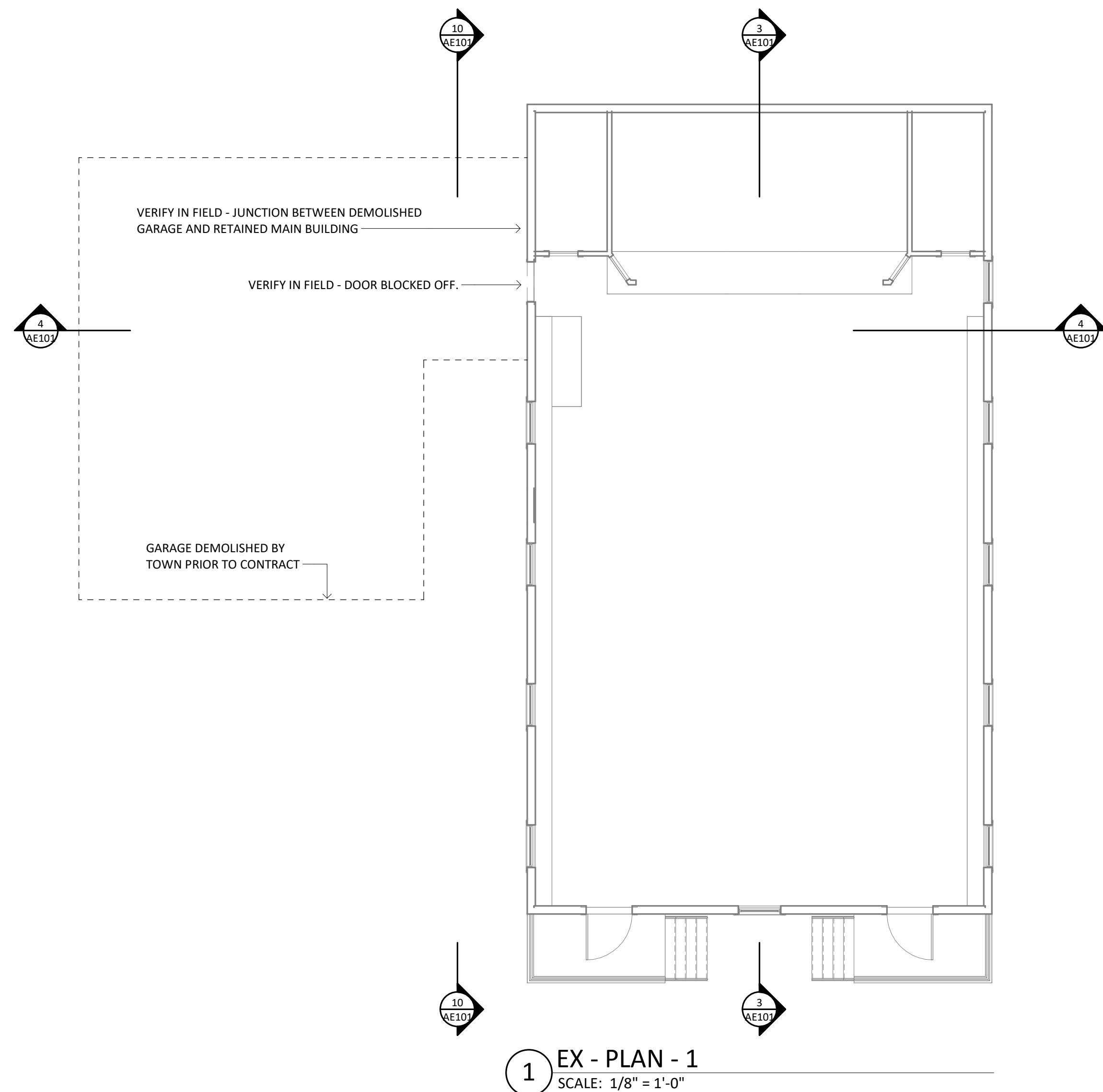
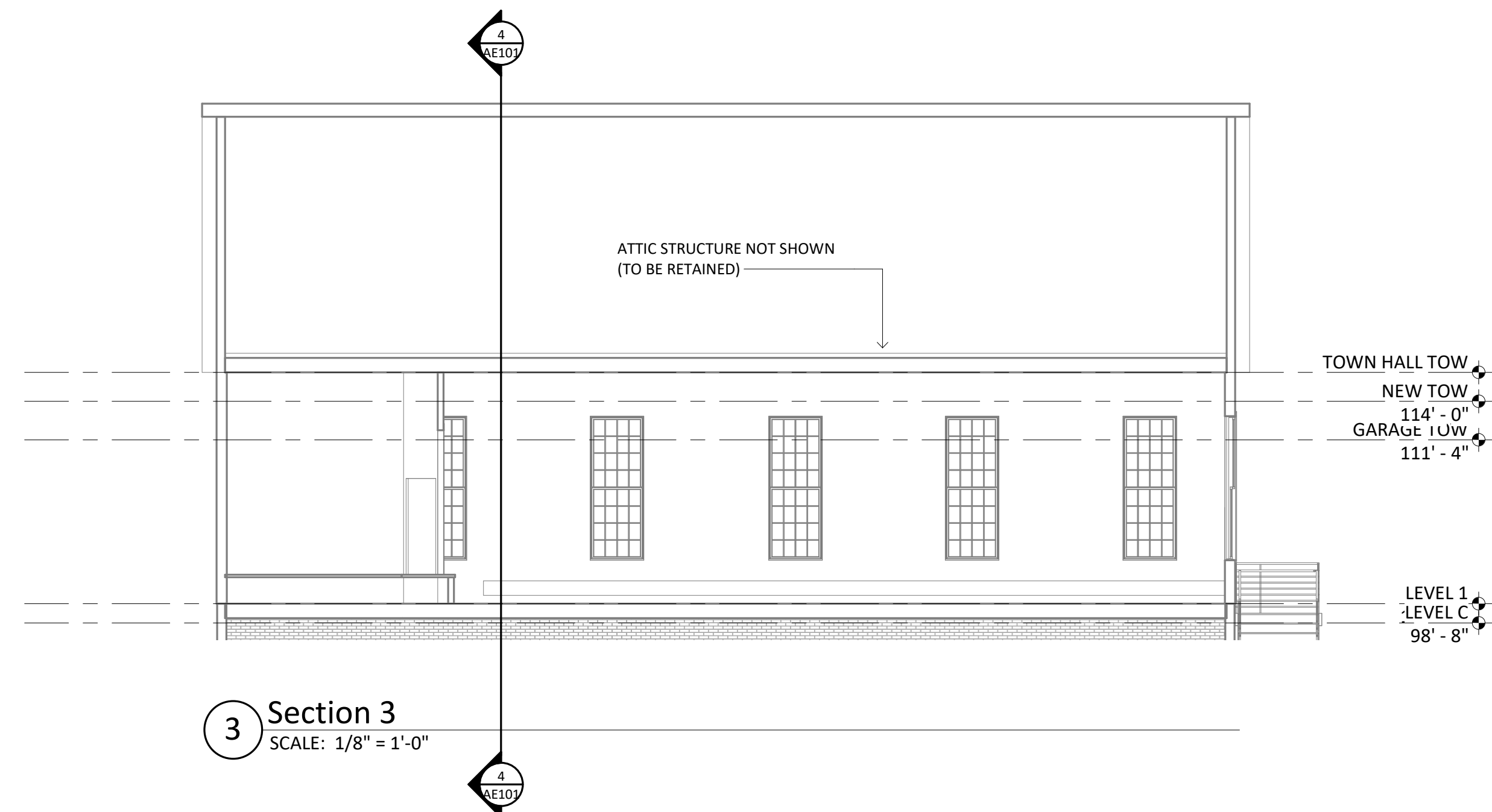
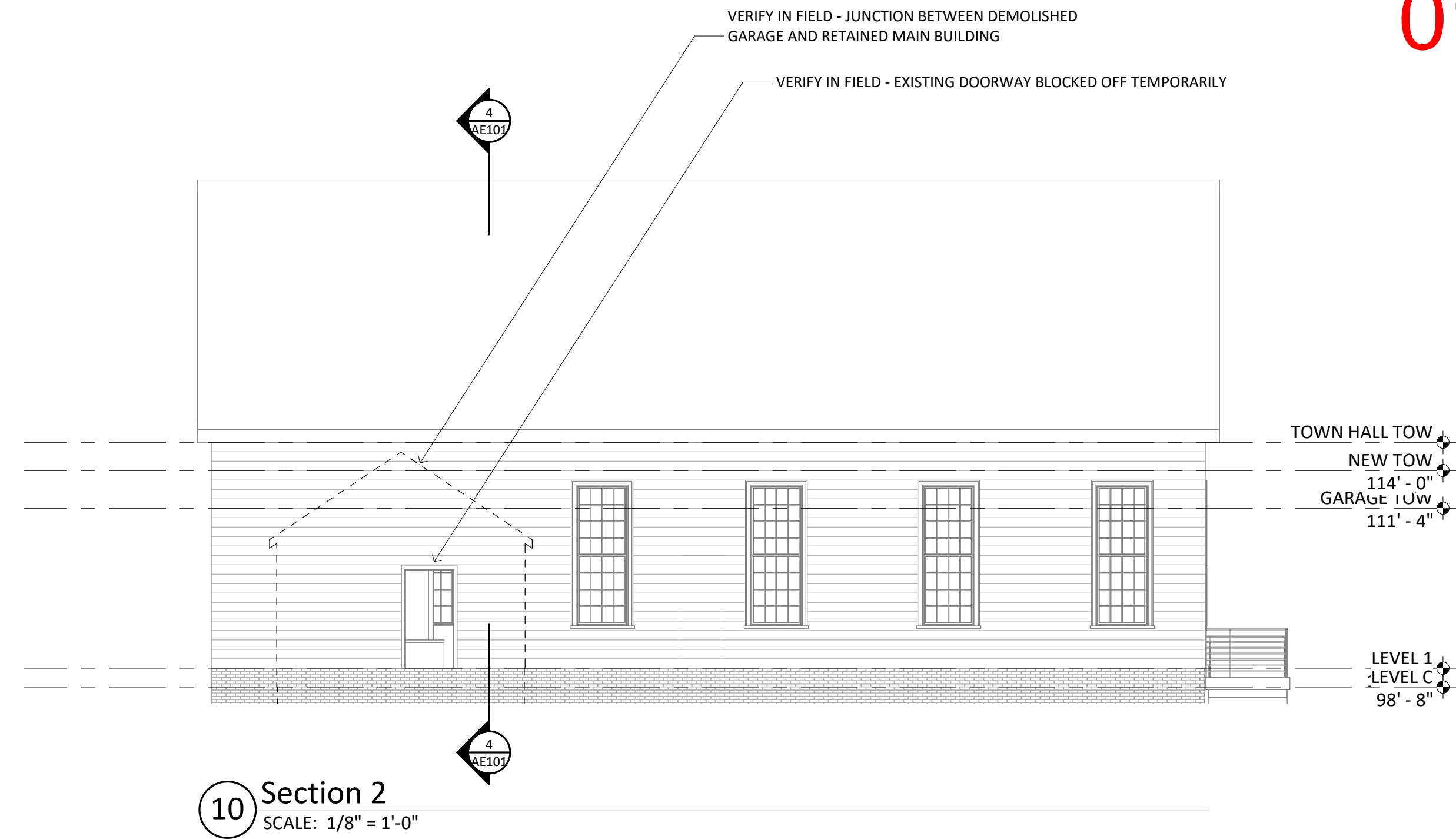
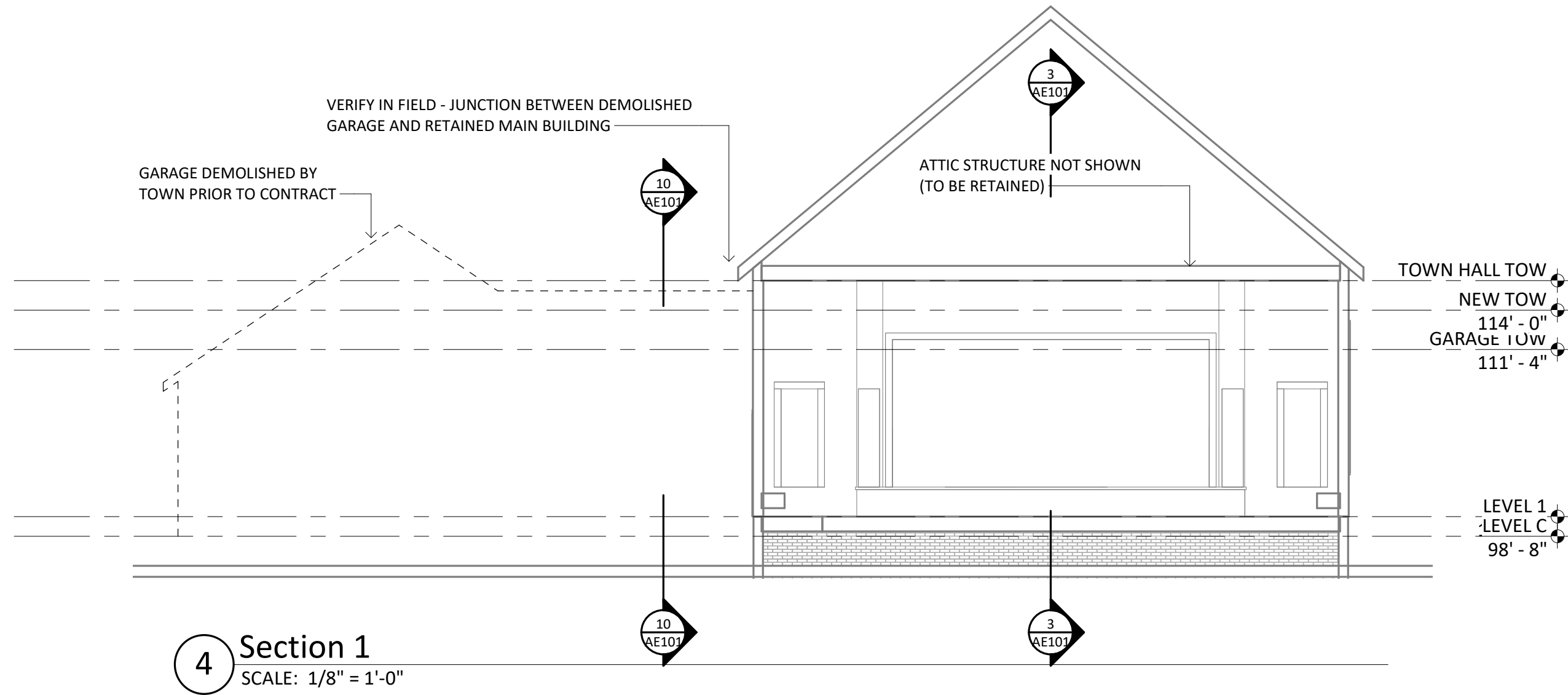
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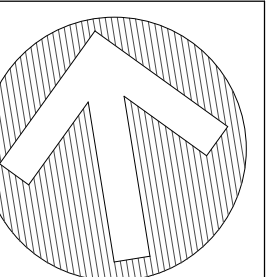
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BARNET TOWN HALL RENO.
BARNET, VERMONT

BLACK RIVER DESIGN
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REVISIONS

NO.	DATE	DESCRIPTION

FIRST FLOOR PLAN

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As indicated

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OUTLINE SPEC NOTES

OUTLINE SPECIFICATION - 1

MOVE BUILDING

- YES OR NO? - DEPENDENT ON GEOTECH REPORT

SITE WORK - REFER TO CIVIL ENGINEER

- RE-GRADE AS REQUIRED.
- NEW PERIMETER DRAINS AROUND BUILDING.
- NEW SITE DRAINAGE AWAY FROM BUILDING.
- NEW PARKING AREA AND ACCESS RAMP TO ENTRANCE PORCH.
- NEW SEEDED LAWN AROUND BUILDING.

MAIN HALL

- MOVE BUILDING --- ? (SEE ABOVE)

- NEW BASEMENT
- NEW FULL-DEPTH CONC WALLS WITH EXTERNAL XPS INSULATION (2")
- NEW CONC SLAB FLOOR WITH XPS INSULATION UNDER (2")
- NEW STAIRS (WOOD)

ROOFS

- RETAIN EXISTING ROOF COVERING
- NEW ALU 5" SQUARE-SECTION GUTTER AND DOWNPIPE ON WEST SIDE.

EXTERIOR WALLS (EXTERNALLY)

- RETAIN EXTERIOR WALL COVERINGS (SIDING, TRIM, ETC) - REPAIR AS REQUIRED.
- PREP AND PAINT EXISTING WALL COVERINGS (SIDING, TRIM, ETC.).

EXTERIOR WALLS (INTERNALLY - WHERE HISTORIC FABRIC NOT SHOWN)

- INSTALL NEW ROCKWOOL INSULATION (6") BETWEEN STUDS.
- INSTALL NEW CONTINUOUS FOIL-FACED RIGID POLY-ISO FOAM (2") INSULATION & TAPE AS AIR-BARRIER.
- INSTALL NEW GYPSUM WALL BOARD.
- INSTALL NEW PAINTED WOOD WINDOW BOARDS, BASE, ETC.

EXTERIOR WALLS (INTERNALLY - WHERE HISTORIC FABRIC TO BE SHOWN)

- INSTALL RE-USED HISTORIC ELEMENTS TO WALLS (IN THE MEETING ROOM, HALLWAY AND ENTRANCE LOBBY)
- PRESSED METAL COVING
- WOOD WAINSCOTTING AT LOW LEVEL
- PRESSED METAL WALL PANELS AND TRIM AT MID AND UPPER LEVELS

EXTERIOR WINDOWS AND DOORS (ALL TO NEW MATCH EXISTING)

- RETAIN EXISTING WINDOWS.
- INSTALL NEW EXTERIOR STORM WINDOWS.
- INSTALL NEW WOOD ENTRANCE DOORS AND FRAMES WHERE SHOWN.

EXTERNAL STAIRS / LANDINGS AT MEETING ROOM SOUTH DOORS - ALL NEW FOUNDATIONS - (6) SONOTUBE FOUNDATIONS

- DECK - 2X6 PT FRAME WITH PT DECKING
- STEPS - 2X12 PT STEPS, STRINGERS, WITH ALUMINUM GRID NON-LIP TREADS
- RAILINGS - 4X4 PT POSTS, 2X4 PT RAILINGS, 2X2 PT BALLUSTERS
- FASTENERS - SS OR ANODIZED DECK SCREWS

NE ENTRANCE PORCH FLOOR

- 4" CONCRETE SLAB ON GRADE (ASSUME 12' X 8' AREA).
- 6' WIDE 16' LONG ADA RAMP FROM PARKING AREA.

NEW ENTRANCE PORCH ROOF

- STRUCTURE
- FOUNDATIONS - 8" CONCRETE SONOTUBES, GALV. STEEL POST BRACKETS
- FRAME - 4X4 PT POSTS WITH 2X8 RAFTERS, ETC.
- CEILING - 1/2" PLY CEILING, PAINTED
- COVERINGS
- 1/5" OSB OR PLY SHEATHING
- UNDERLAY AND ASPHALT SHINGLES
- ACCESSORIES
- 5" ALU GUTTERS AND DOWN PIPES

OUTLINE SPECIFICATION - 2

INTERNAL ELEMENTS

- VAULT (PRELIMINARY SPEC PENDING CONSULTANT VIEW)
- WALLS - 12" CMU / GROUTED MASONRY WALLS - FIRE RATED
- FLOORS
- BASEMENT - 4" CONCRETE SLAB ON GRADE
- MAIN FLOOR - 9" STEEL DECK/CONCRETE (AS PER STRUCTURAL ENGINEER)
- ROOF - STEEL DECK/CONC AS PER FLOOR ABOVE.
- CEILING - SUSPENDED GRID / ACT TILES
- SERVICES (ELEC, HVAC, VENT) - BY SPECIALIST CONSULTANT
- DOOR - FIRE-RATED DOOR TO MEET REGS.

INTERNAL PARTITIONS:

- NEW 6" CFMS METAL STUD FRAMING.
- NEW 6" ROCKWOOL SOUND INSULATION BETWEEN STUDS.
- NEW 5/8" TYPE-X GYSOM WALL BOARD, PAINTED.
- NEW WOOD PAINTED BASE (1X6 PINE).

INTERNAL DOORS AND WINDOWS

- NEW 5-PANEL SOLID WOOD DOORS ON METAL FRAMES.
- NEW ALU-FRAMED INTERNAL WINDOWS AT PUBLIC-FACING COUNTERS.

CEILINGS

- RE-FASTEN EXISTING PRESSED METAL CEILING THROUGHOUT.
- INSTALL NEW DROP CEILINGS IN ALL AREAS EXCEPT ENTRANCE LOBBY, HALL TO MEETING ROOM AND MEETING ROOM. (HISTORIC CEILINGS WILL BE EXPOSED IN THESE AREAS)

FLOORS

- EXISTING WOOD FLOORS TO BE RETAINED THROUGHOUT.
- LEVEL, SAND AND RE-FINISH THE EXISTING HARDWOOD FLOORING IN THE ENTRY LOBBY, HALL TO MEETING ROOM, AND THE MEETING ROOM.
- INSTALL 1/4" PLYWOOD SUBFLOOR OVER THE EXISTING WOOD FLOOR IN ALL OTHER AREAS.
- INSTALL UNDERLAY AND CARPET IN STAFF OFFICE AREAS.
- INSTALL VINYL SHEET FLOORING IN JANITOR'S CLOSET, STORAGE ROOMS, BATHROOMS AND KITCHEN.
- INSTALL SHEET VINYL FLOORING IN THE VAULT.

BUILT-IN CABINETRY

- BATHROOMS
- VANITY

JANITORS

- FLOOR SINK
- SHELVES

KITCHEN

- BASE AND UPPER UNITS

PUBLIC COUNTER:

- PLASTIC LAMINATE COUNTERS
- WOOD-FRAMED SLIDER WINDOWS

OUTLINE SPECIFICATION - 3

SERVICES - REFER TO CONSULTANTS (VISIL, STRUCTURAL, MECHANICAL, ELECTRICAL)

- WATER SUPPLY - REFER TO CIVIL ENGINEER
- RE-USE EXISTING SUPPLY - ENLARGE SERVICE FROM STREET AS NECESSARY

DRAINS - REFER TO CIVIL ENGINEER

- STORM WATER - TO ON-SITE DRYWELLS
- FOUL - TO SEPTIC FIELD TO EITHER: OPTION 1 - TO NEW SEPTIC FIELD RIGHT AND BEHIND BUILDING. OPTION 2 - TO EXISTING SEPTIC FIELD ACROSS ROAD AT LIBRARY.

ELECTRICS - ALL NEW - REFER TO ELECTRICAL ENGINEER

- SOCKETS
- LIGHTING
- HVAC - ALL NEW - REFER TO MECHANICAL ENGINEER
- HEAT SOURCE - ?
- RADIATORS - ?
- CONTROLS - ?

PLUMBING - REFER TO MECHANICAL ENGINEER

- BATHROOMS
- ADA SINK
- ADA TOILET
- KITCHEN
- KITCHEN DOUBLE SINK
- JANITOR
- MOP SINK

FIRE SAFETY - REFER TO CONSULTANT ENGINEER

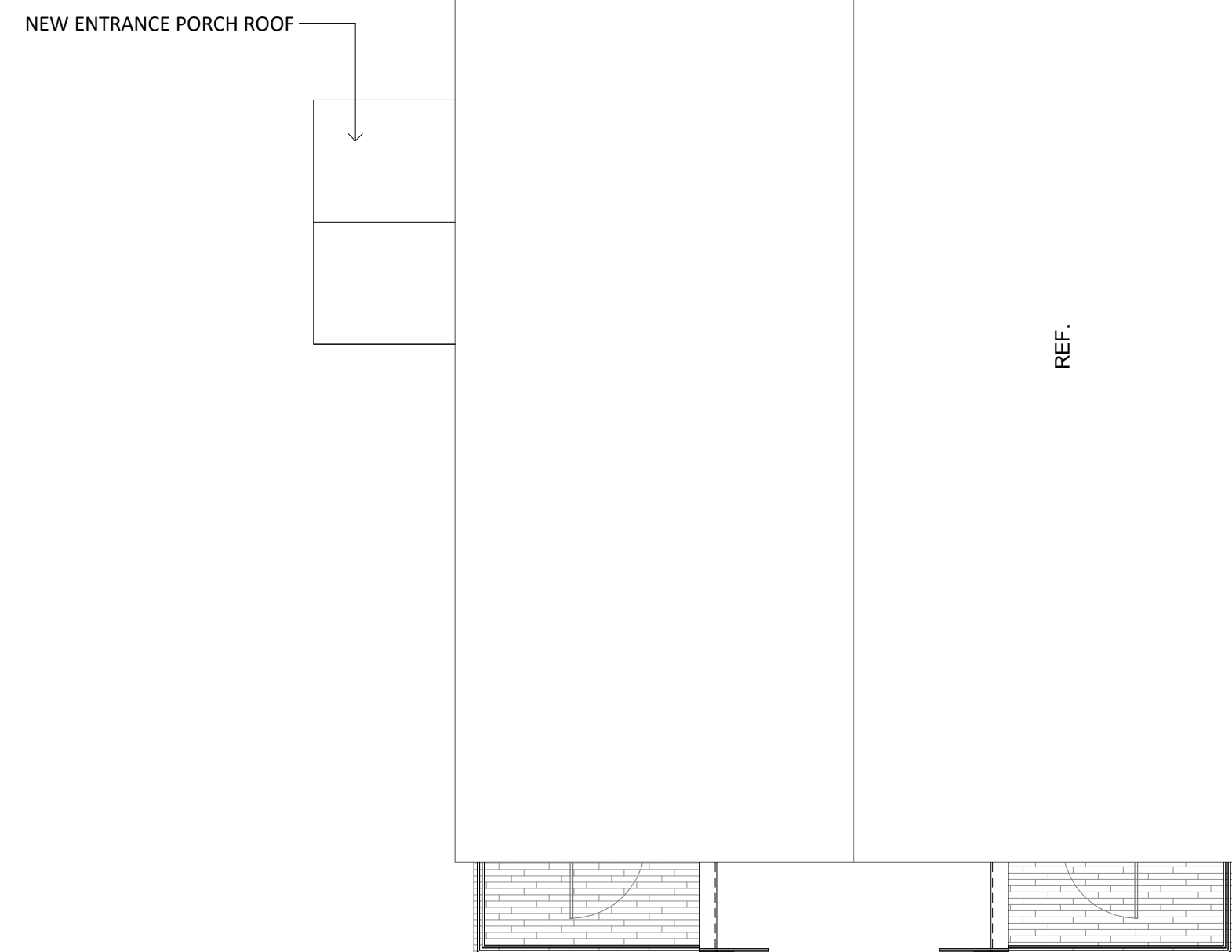
- SENSORS
- ALARMS
- SPRINKLER SYSTEM - NOT REQUIRED?

SECURITY - REFER TO CONSULTANT ENGINEER

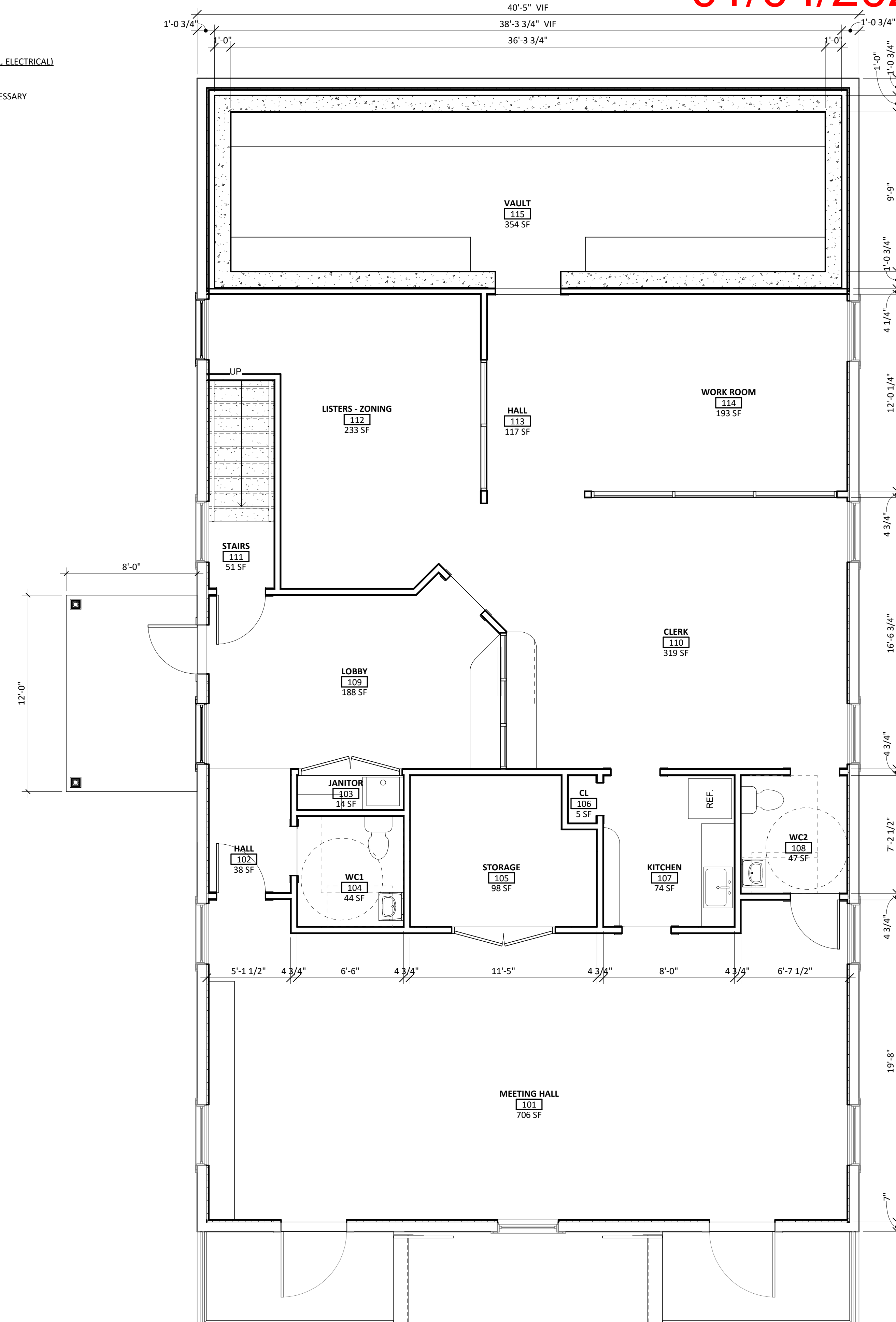
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COMMS - REFER TO CONSULTANT ENGINEER

- ?

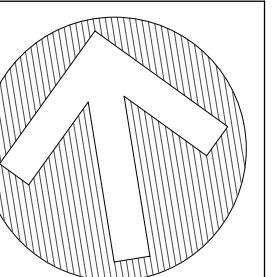


2 ROOF PLAN
SCALE: 1/8" = 1'-0"



1 FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

ROOM SCHEDULE - LEVEL 1			
Number	Name	Area	USER
LEVEL 1			
101	MEETING HALL	706 SF	PUBLIC
102	HALL	38 SF	PUBLIC
103	JANITOR	14 SF	UTIL
104	WC1	44 SF	SERVICE
105	STORAGE	98 SF	SERVICE
106	CL	5 SF	SERVICE
107	KITCHEN	74 SF	SERVICE
108	WC2	47 SF	SERVICE
109	LOBBY	188 SF	PUBLIC
110	CLERK	319 SF	STAFF
111	STAIRS	51 SF	UTIL
112	LISTERS - ZONING	233 SF	STAFF
113	HALL	117 SF	STAFF
114	WORK ROOM	193 SF	STAFF
115	VAULT	354 SF	STAFF
LEVEL 1		2,479 SF	
Grand total		2,479 SF	



OUTLINE SPEC NOTES

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MAIN HALL

- MOVE BUILDING --- ? (SEE ABOVE)

NEW BASEMENT

- NEW FULL-DEPTH CONC WALLS WITH EXTERNAL XPS INSULATION (2")
- NEW CONC SLAB FLOOR WITH XPS INSULATION UNDER (2")
- NEW STAIRS (WOOD)

ROOFS

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- RADIATORS - ?
- CONTROLS - ?

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- FIRE SAFETY - REFER TO CONSULTANT ENGINEER

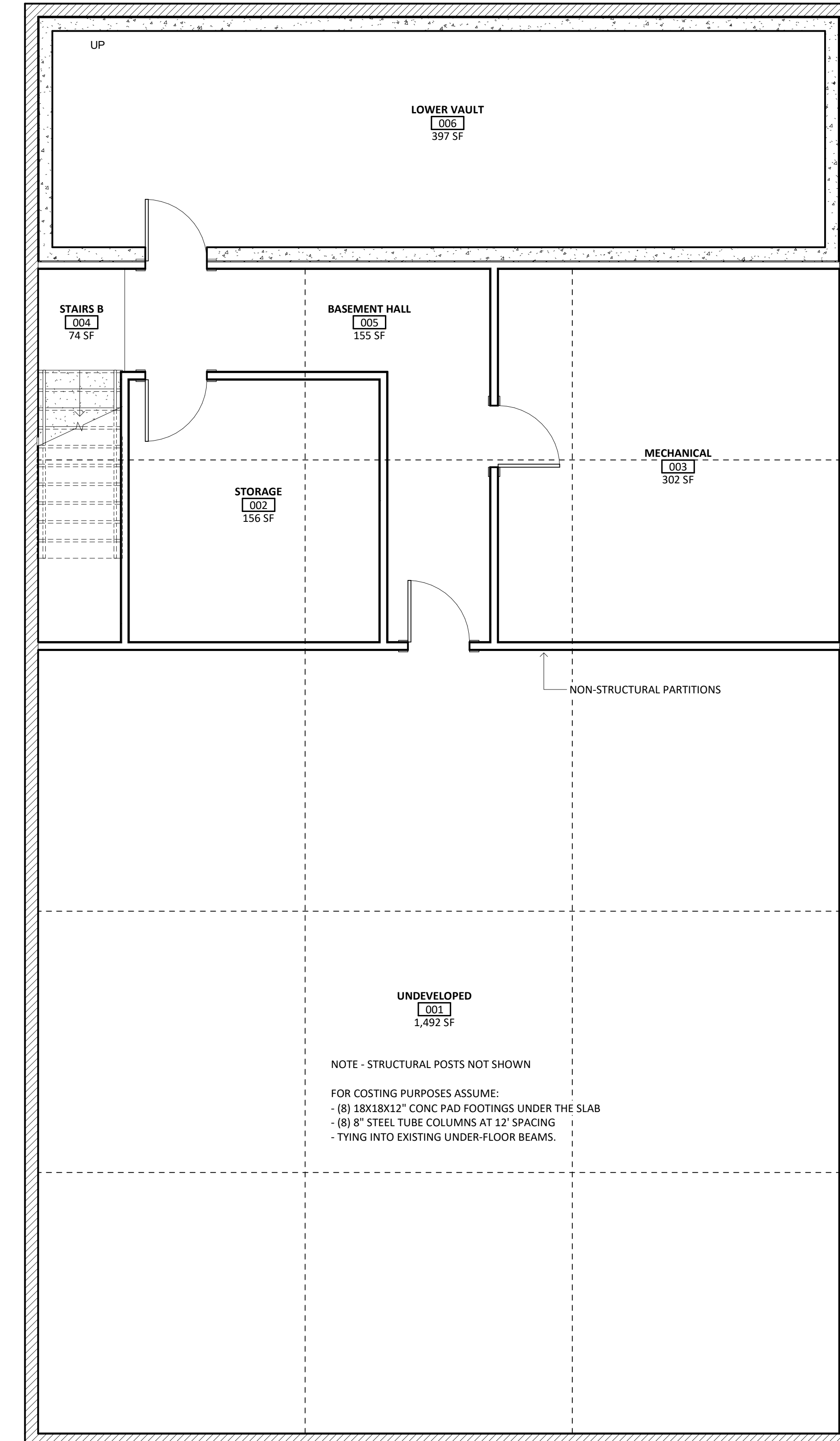
- SENSORS
- ALARMS
- SPRINKLER SYSTEM - NOT REQUIRED?

- SECURITY - REFER TO CONSULTANT ENGINEER

- ?

- COMMS - REFER TO CONSULTANT ENGINEER

- ?



ROOM SCHEDULE - BASEMENT			
Number	Name	Area	USER

LEVEL B			
001	UNDEVELOPED	1,492 SF	UNDEV
002	STORAGE	156 SF	STAFF
003	MECHANICAL	302 SF	UTIL
004	STAIRS B	74 SF	UTIL
005	BASEMENT HALL	155 SF	UTIL
006	LOWER VAULT	397 SF	STAFF
LEVEL B		2,576 SF	
Grand total		2,576 SF	

1 BASEMENT PLAN
SCALE: 1/4" = 1'-0"

BARNET TOWN HALL RENO.
BARNET, VERMONT



REVISIONS

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BASEMENT PLAN

SCALE
1/4" = 1'-0"

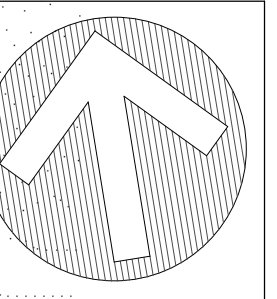
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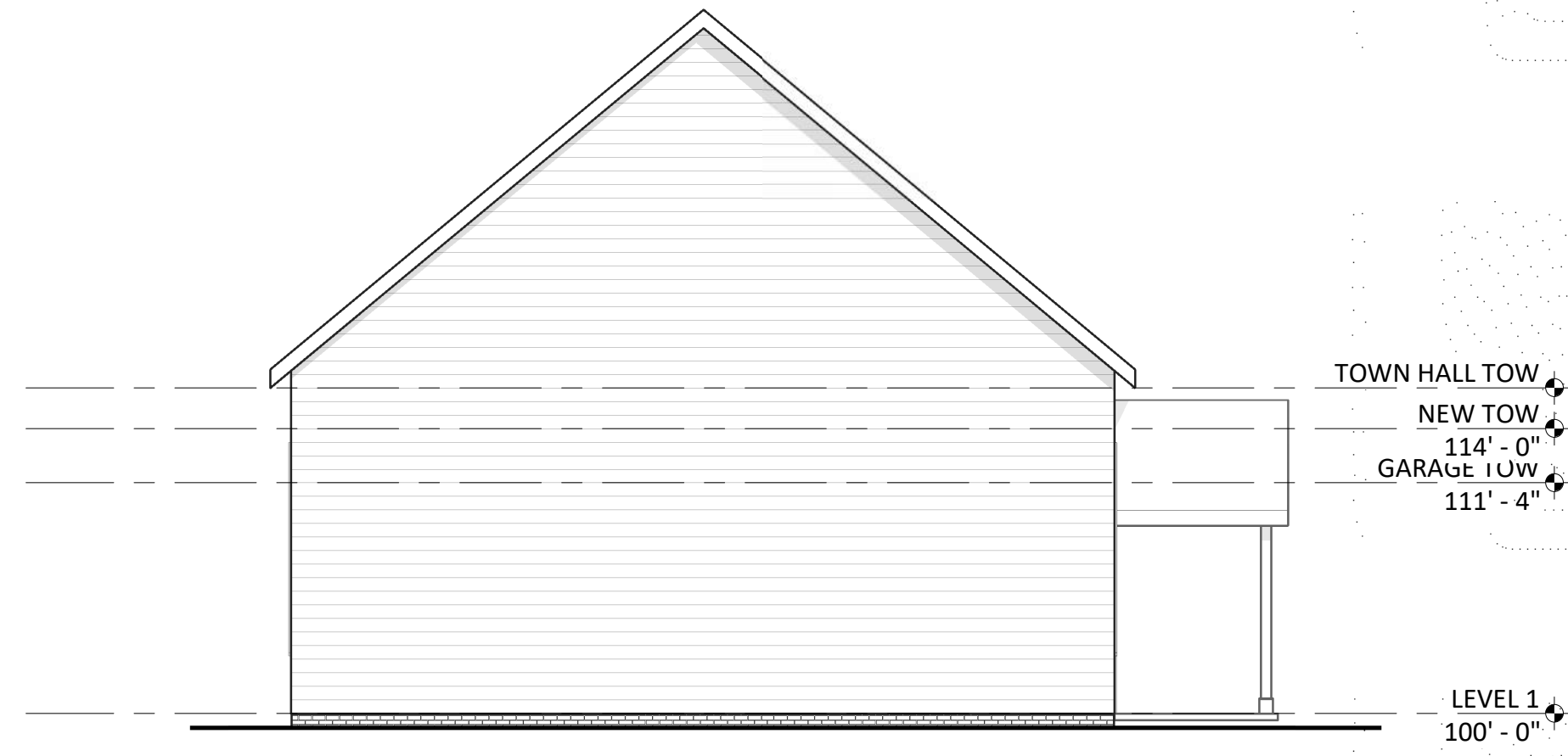
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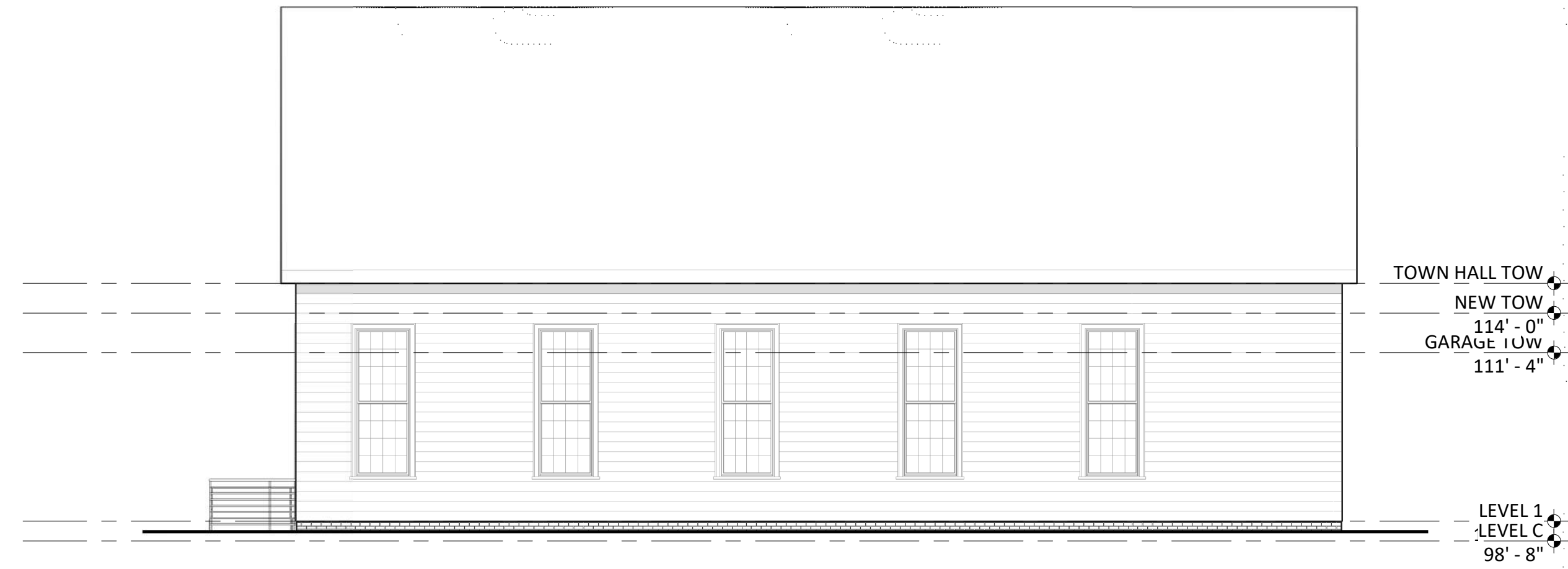
01/04/2023



BARNET TOWN HALL RENOV.
BARNET, VERMONT



2 ELEV - N - NEW
SCALE: 1/8" = 1'-0"



1 ELEV - E - NEW
SCALE: 1/8" = 1'-0"



4 ELEV - W - NEW
SCALE: 1/8" = 1'-0"



3 ELEV - S - NEW
SCALE: 1/8" = 1'-0"

BLACK RIVER DESIGN
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ELEVATIONS

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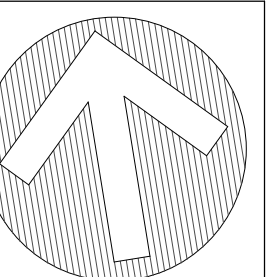
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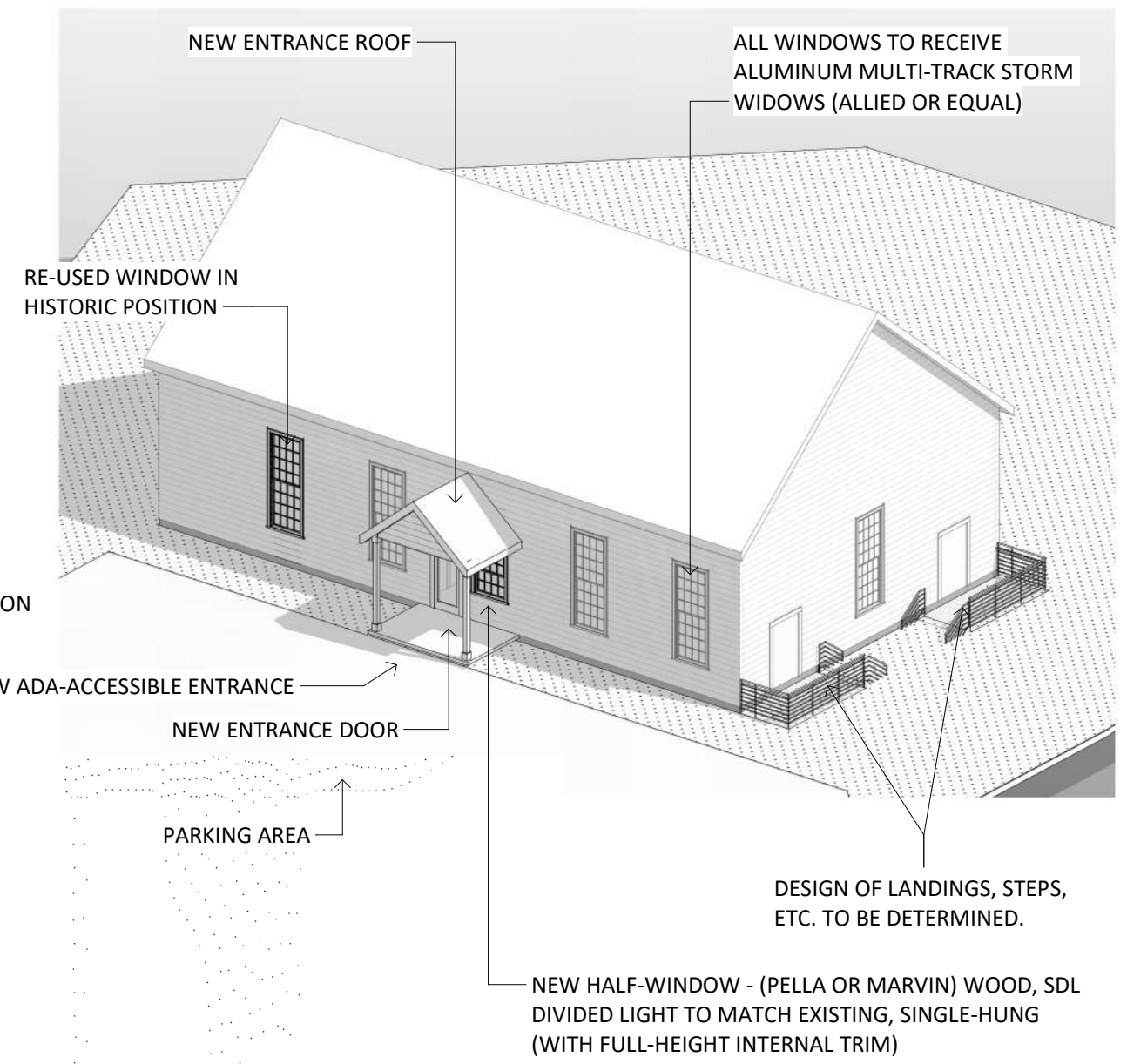
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01/04/2023

PROPOSED VIEW



BARNET TOWN HALL RENO.
BARNET, VERMONT



HISTORIC NOTES

HISTORIC ELEMENTS:

STRUCTURAL

- FOUNDATION - MIXED BRICK, BLOCK, CONC.
- WALLS - TIMBER - STICK-BUILT
- ROOF - HEAVY TIMBER

EXTERNAL:

- SIDING - WOOD CLAPBOARD
- DOORS - WOOD 6-PANEL
- WINDOWS - WOOD SASH
- (NEW) ALUMINUM STORM WINDOWS
- EAVES AND RAKE BOARDS - WOOD
- ROOFING - STANDING SEAM METAL

INTERNAL:

- STAGE (THRUST AREA IN CENTER)
- APRON - PANELING AND TRIM
- FLOORING - HARDWOOD
- PROCENIUM ARCH AND TRIM
- SIDE-STAGE AREAS
- FLOORING - HARDWOOD

- WALL TREATMENTS:
- PRESSED METAL PANELS
- COVING
- CEILING TREATMENTS
- PRESSED METAL PANELS

PROPOSED TREATMENT

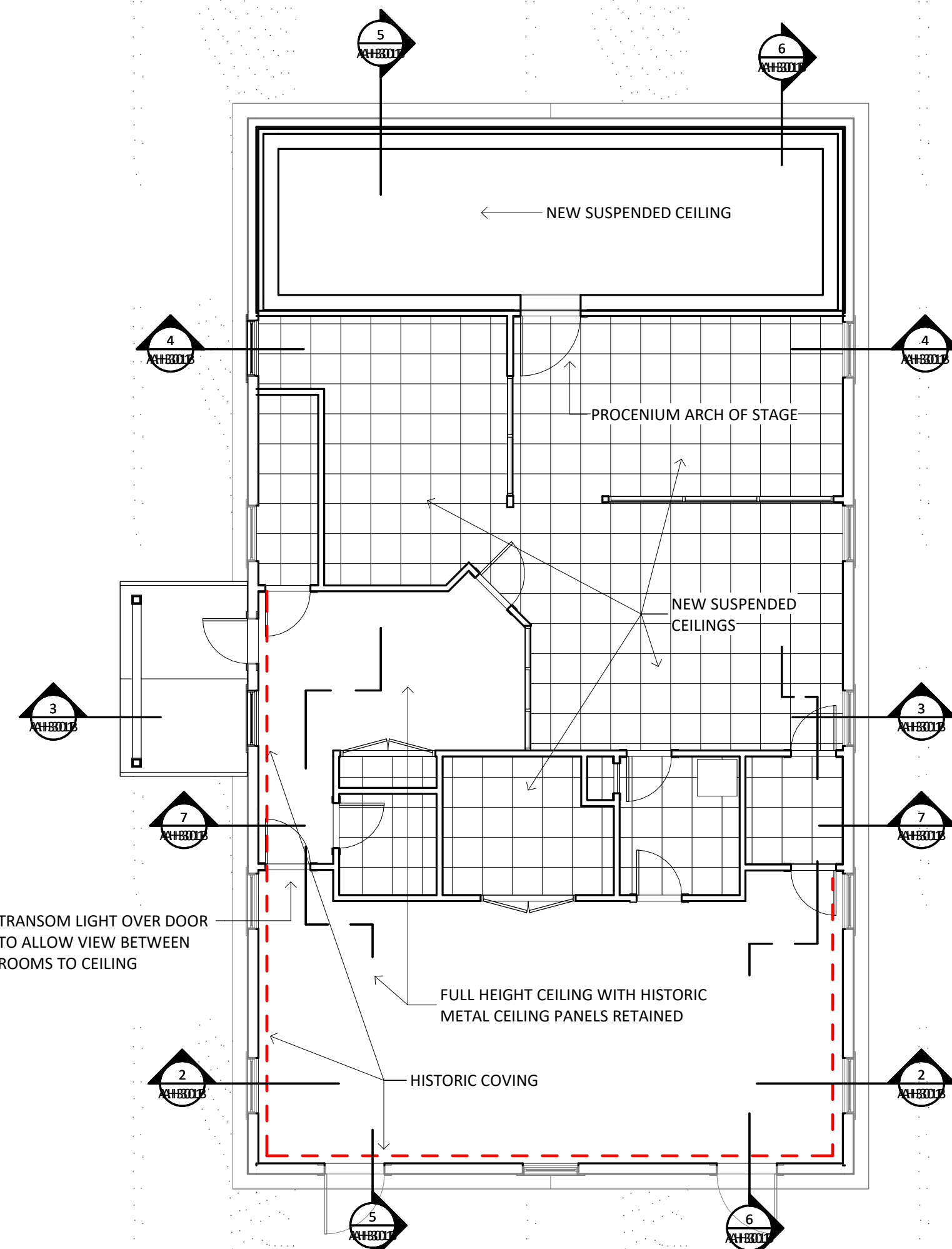
- TO BE REMOVED AND BUILDING RE-FOUNDED ON NEW FULL CONCRETE BASEMENT.
- TO BE MAINTAINED
- TO BE MAINTAINED

- TO BE MAINTAINED
- TO BE REPAIRED/REFURBISHED OR RENEWED
- TO BE MAINTAINED (ALTERNATE - RENEWED)
- MULTI-TRACK, PAINTED TO MATCH EXISTING.
- TO BE MAINTAINED
- TO BE MAINTAINED

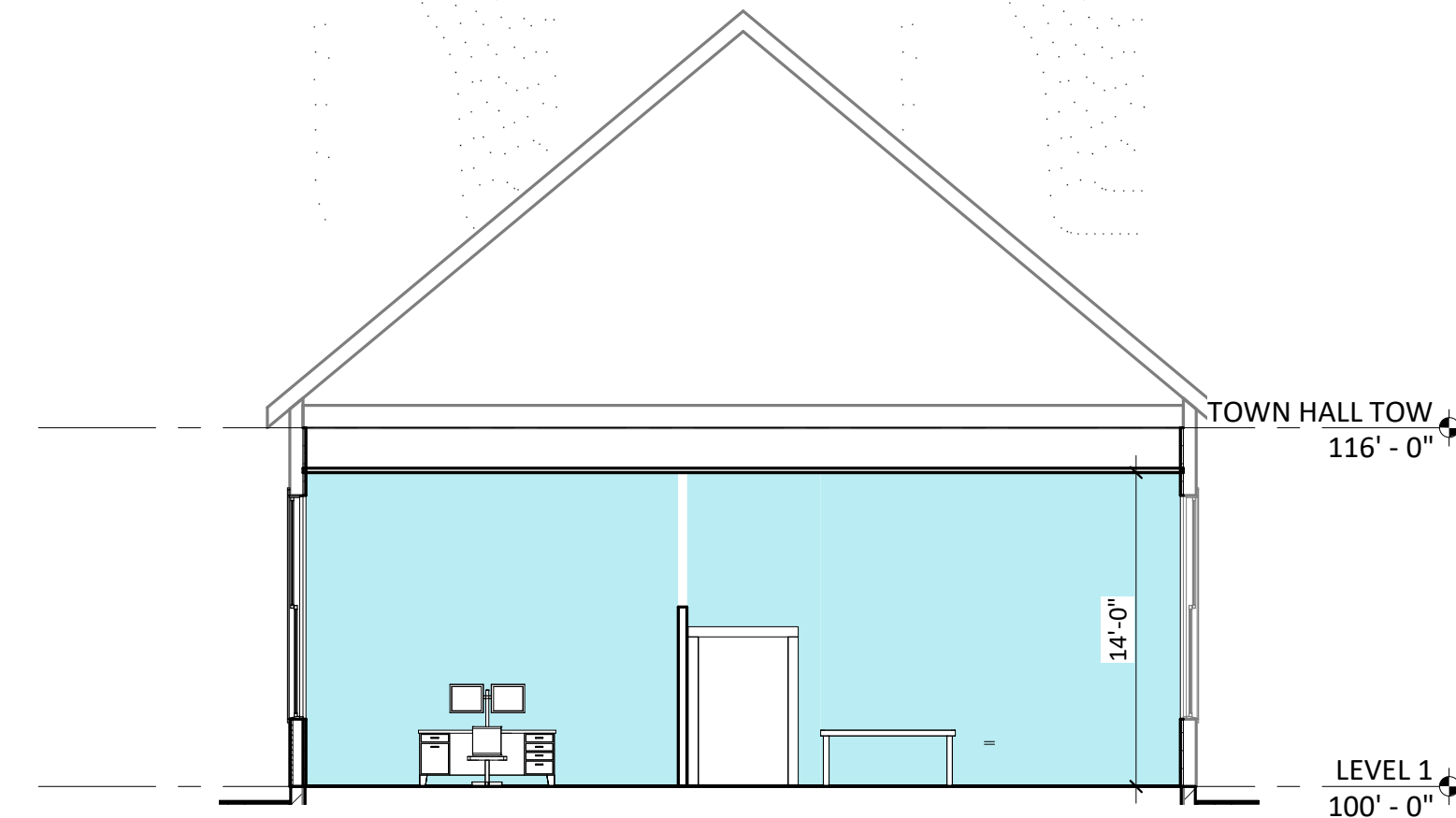
- AS BELOW
- TO BE REMOVED
- TO BE REMOVED
- TO BE REMOVED
- TO BE REMOVED
- TO BE RATAINED THROUGH OUT.
- TO BE REFINISHED IN MEETING ROOM.
- TO BE COVERED (PROTECTED) IN OTHER AREAS AND CARPET OR OTHER FLOORING INSTALLED.
- STAGE SHADOW ON FLOOR TO BE RATAINED AND PROTECTED (AS ABOVE).

- TO BE REMOVED AND REINSTALLED IN MEETING ROOM AND ENTRANCE LOBBY.
- TO BE REMOVED IN OTHER AREAS AND MODERN GYP WALL LINING INSTALLED.
- TO BE REMOVED AND REINSTALLED IN MEETING ROOM AND ENTRANCE LOBBY.
- TO BE REMOVED IN OTHER AREAS AND MODERN COVING INSTALLED.

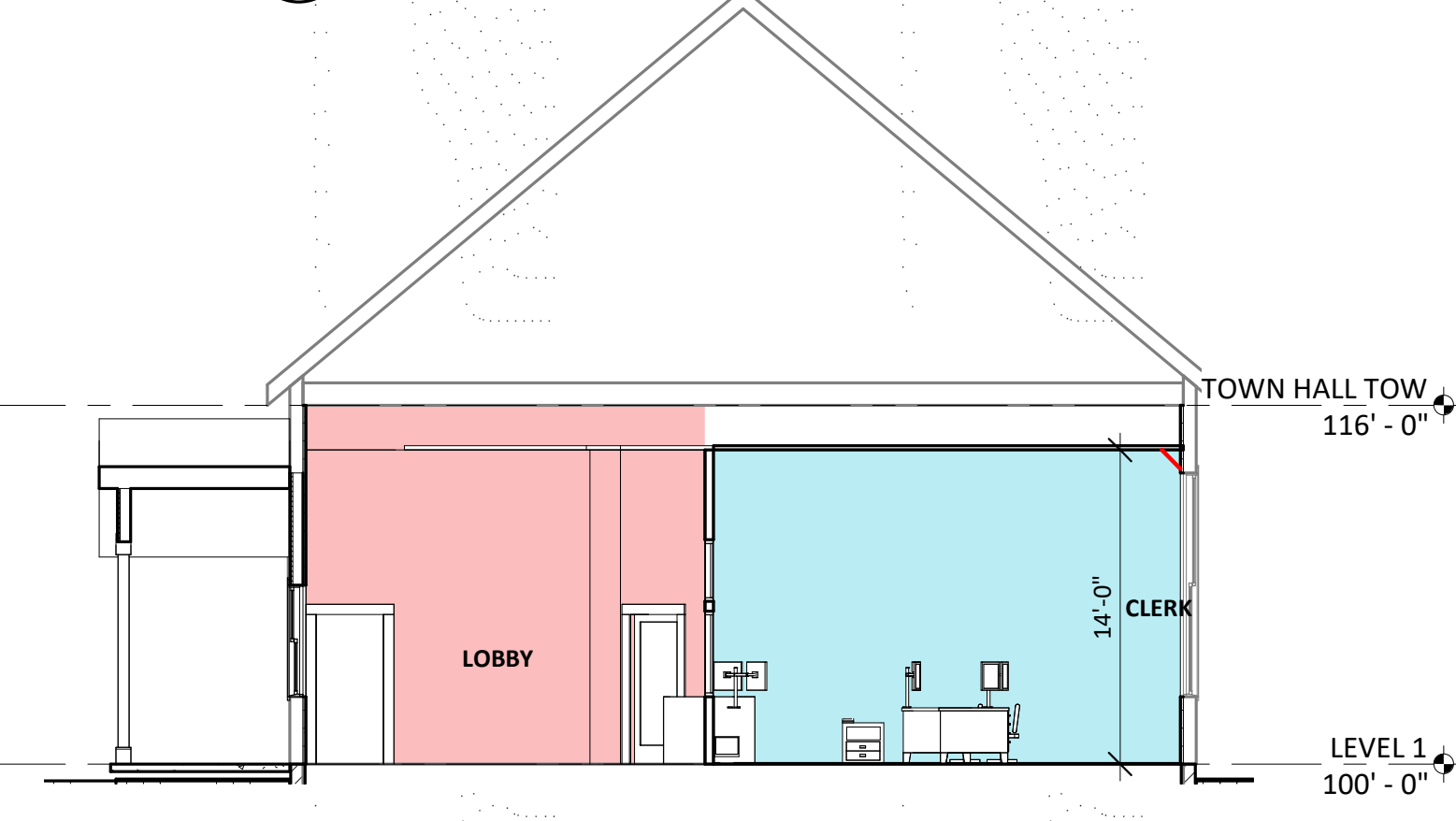
- TO BE RATAINED IN ALL AREAS.
- TO BE EXPOSED IN THE MEETING ROOMZE.
- DROP CEILINGS TO BE INSTALLED IN OTHER AREAS.



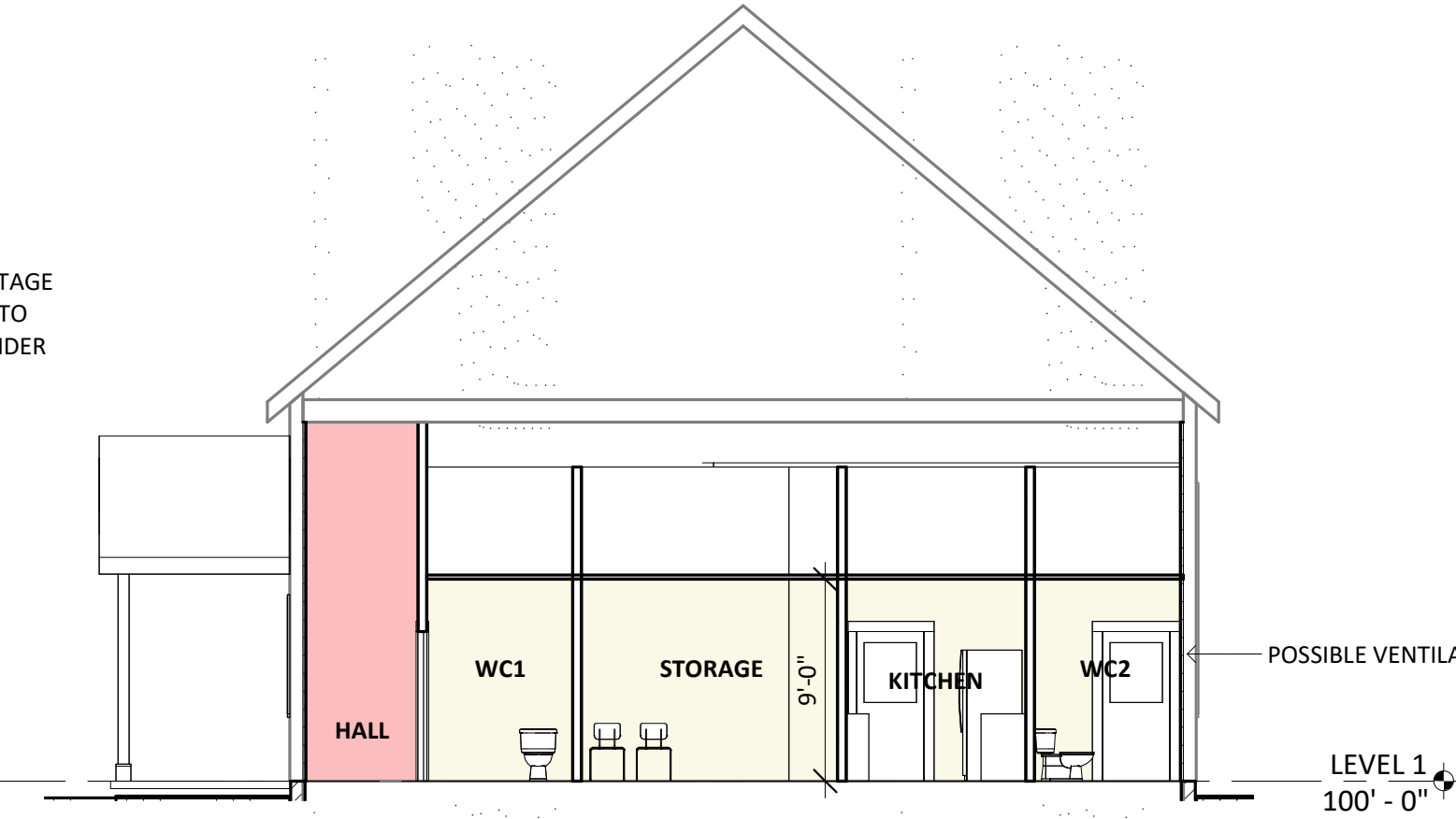
8 LEVEL 1 REFLECTED CEILING PLAN
SCALE: 1/8" = 1'-0"



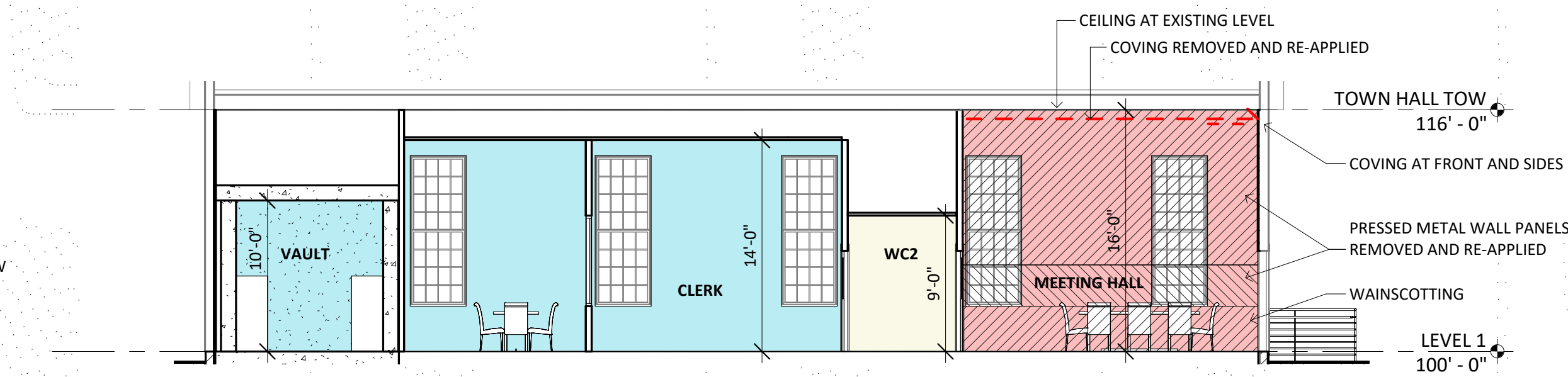
4 SECTION THRU LISTERS AND WORK ROOM
SCALE: 1/8" = 1'-0"



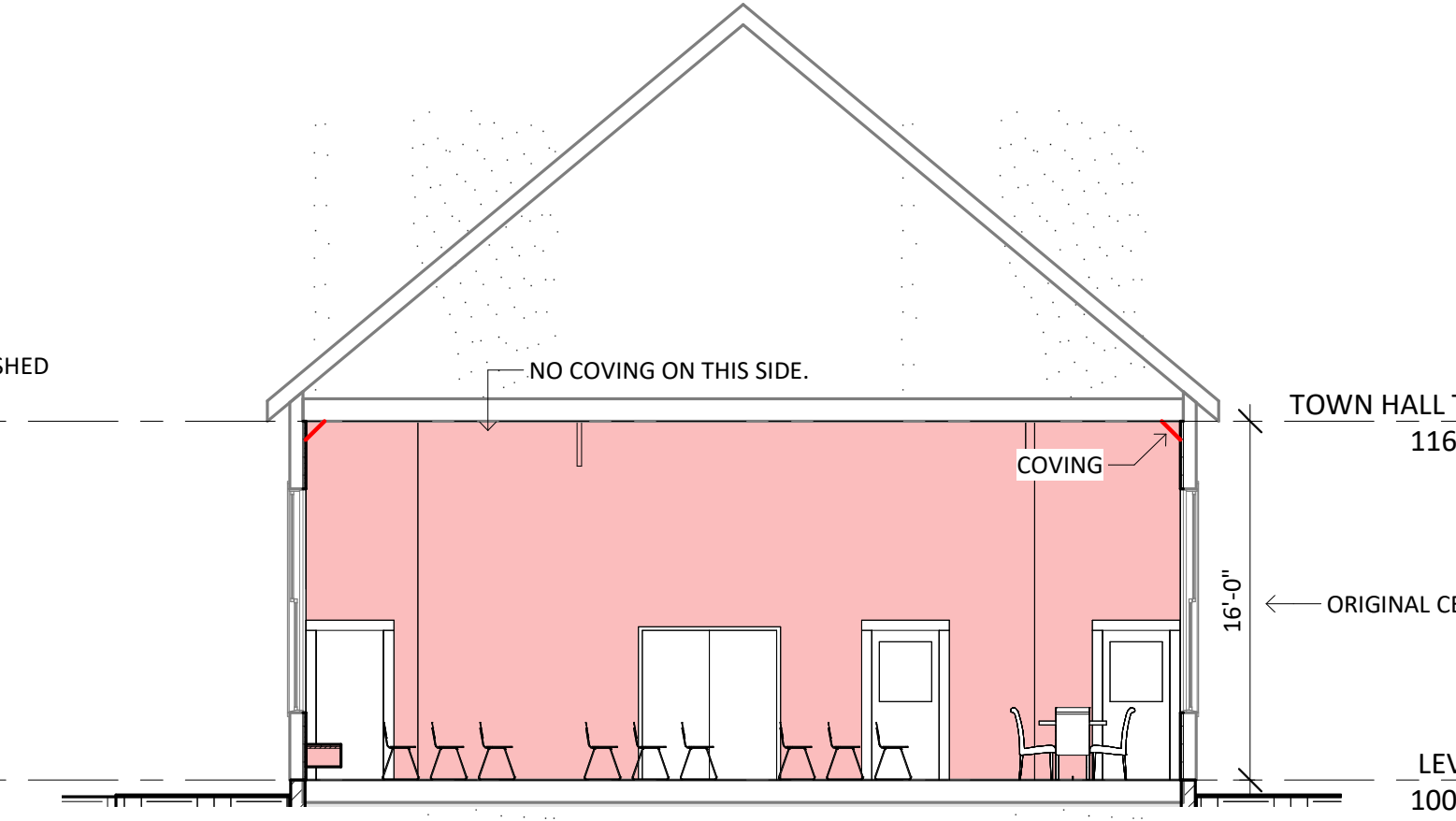
3 SECTION THRU ENTRY AND CLERK'S OFFICE
SCALE: 1/8" = 1'-0"



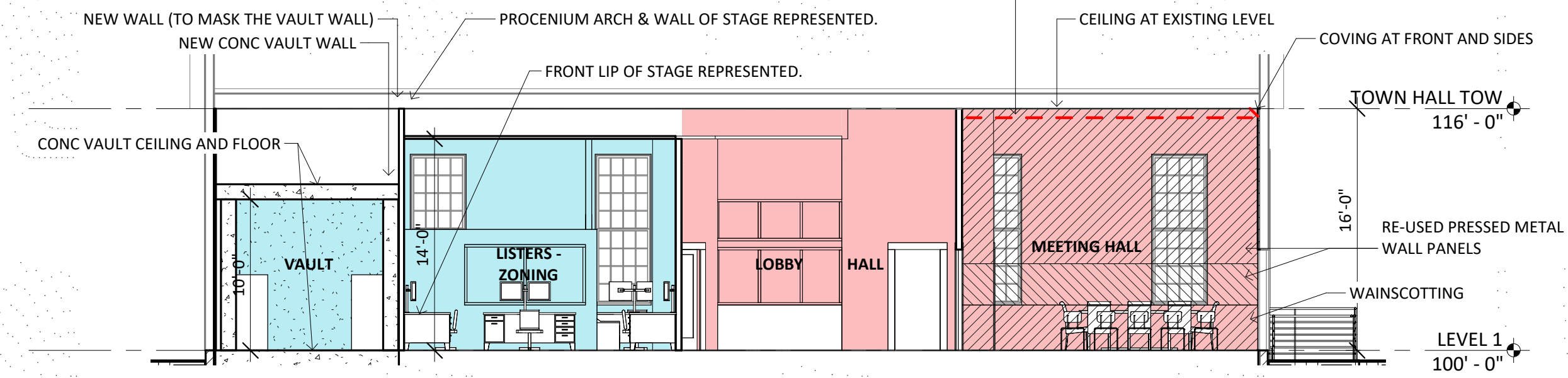
7 SECTION THRU SERVICE ROOMS
SCALE: 1/8" = 1'-0"



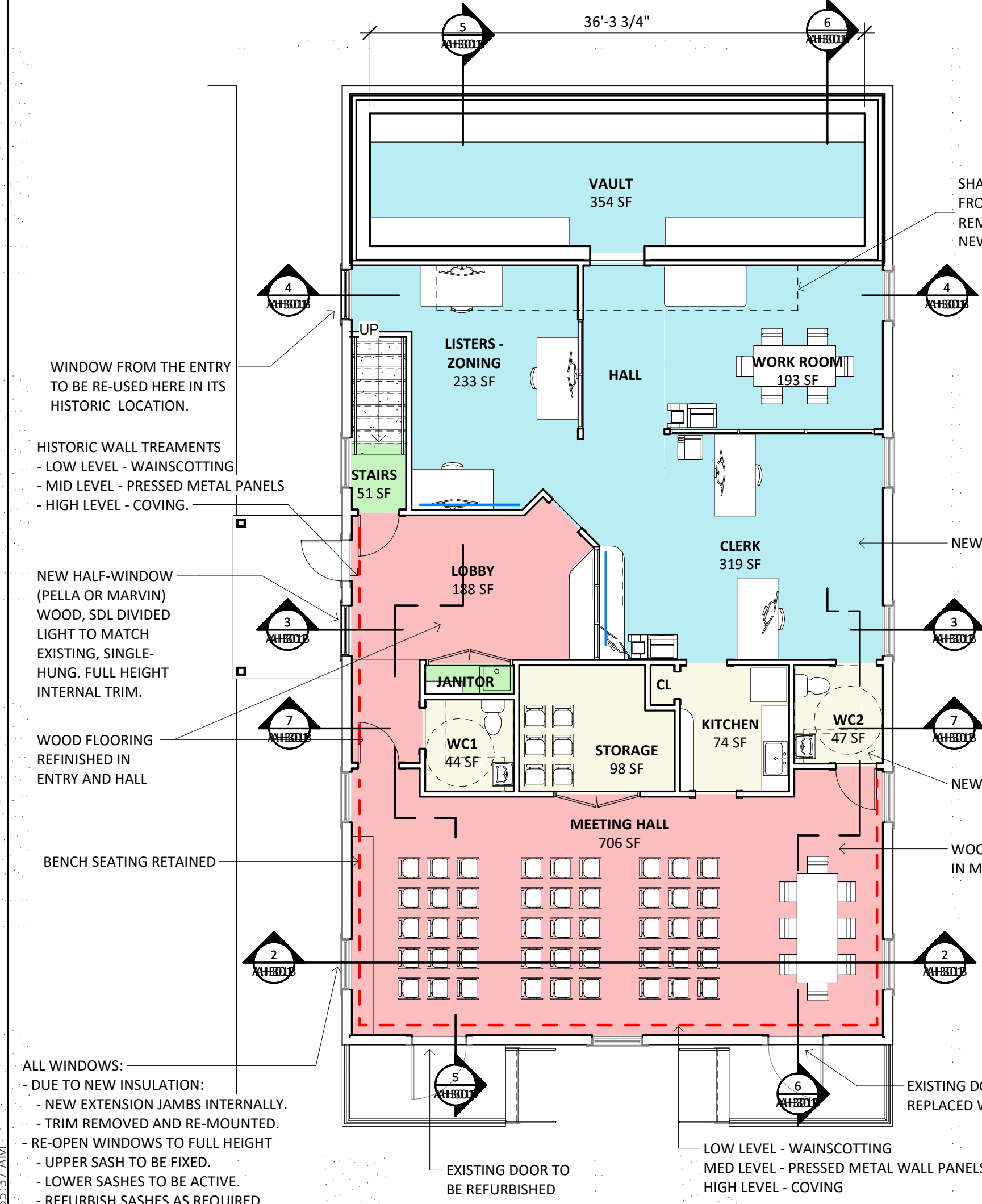
6 SECTION THRU CLERK'S OFFICE AND MEETING ROOM
SCALE: 1/8" = 1'-0"



2 SECTION THRU MEETING ROOM
SCALE: 1/8" = 1'-0"



5 SECTION THRU ENTRANCE AND MEETING ROOM
SCALE: 1/8" = 1'-0"



1 PROPOSED FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"



REVISIONS

NO.	DESCRIPTION

HISTORIC PLAN

SCALE
As indicated

DATE
2023-01-04 DRAFT

DRAWN BY
Author

CHECKED BY
Checker

AH301

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